

| Layout ID | Layout Name |
|-----------|------------------------|
| A1.01 | Site Plan |
| A1.02 | Sediment Control Plan |
| A1.03 | Earthworks Plan |
| A1.04 | Foundation Plan |
| A1.05 | Drainage Plan |
| A2.01 | Ground Floor Plan |
| A2.02 | Framing Plan |
| A2.03 | Roof Plan |
| A2.04 | Bracing Plan |
| A2.05 | Electrical Plan |
| A3.01 | Elevations |
| A3.02 | Elevations |
| A4.01 | Cross Section |
| A4.02 | Longitudinal Section |
| A5.01 | Details |
| A5.02 | Details |
| A5.03 | Details |
| A5.04 | Details |
| A5.05 | Details |
| A5.06 | Details |
| A5.07 | Details |
| A5.08 | Details |
| A5.09 | Details |
| A5.10 | Details |
| A6.01 | Door & Window Schedule |

FOR



Auckland Council
Te Kaunhara o Tāmaki Makaurau

24/08/2018


BCO10269221

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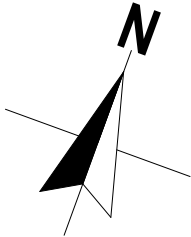
BUILDING CONSENT PLANS

REFERRAL OVER THESE DRAWINGS

NOTE: THE SCHEDULE OF FIXTURES AND FITTINGS TAKES PRECEDENCE OVER THESE DRAWINGS

| | | | | | | | | |
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| | <p>AMENDMENT DATE:</p> <p>23/03/2018</p> | <p>TECHNICIAN:</p> <p>CM</p> | <p>JOB #</p> <p>SA243</p> | | | | | |

J:\SouthAuckland\SA243\7 Design & Working Drawings\7-0 Workings\7-0-1 Concept & WD PLNs\SA017 Lot 90 Kahawai Point SHANKLAND V3 - WD.pln 19/07/2018 cmackie



GENERAL NOTES

| | |
|--|---|
| Site Area | 553m ² |
| Floor Area over Framing | 166.76 m ² |
| Floor Area over Foundation | 173.76 m ² |
| Floor Area over Foundation (incl. Covered Areas) | 192.44 m ² (Developer Approval received for less than 200m ² excl garage) |

| | | |
|-------------------------|-----------------------|--|
| Site Coverage | 34.79% | Including Louvre System (35% Allowable) |
| Impervious Surface Area | 260.25 m ² | (47.06% Including Dwelling, Garage & Louvre & Patios), Max 60% |

| | |
|-----------------------|---|
| Territorial Authority | AUCKLAND COUNCIL |
| Planning Zone | REISIDENTIAL SINGLE HOUSE, GLENBROOK 3 PRECINCT, COASTAL ZONE |
| Flood Management Area | NO |
| Wind Zone | HIGH |
| Earthquake Zone | 1 |
| Snow Zone | 1kPa |
| Exposure Zone | D |
| Sea Spray Zone | YES |
| Coastal Hazard | N/A |
| Technical Category | TC Zone: N/A |

| | |
|-------------------------------|--|
| General: | Concept subject to TA rules and regulations. All dimensions to be confirmed on site Concept may be subject to subdivision developer's approval |
| Foundation Type: | TC1 RIBRAFT (To be confirmed with Geotechnical Report) |
| Site Information: | Position of road crossing, services locations, street trees, lamp posts, parking bays, pedestrian islands etc is unknown - to be confirmed when information becomes available. |
| Boundary Information: | To be confirmed with release of Certificate of Title |
| Site Levels: | Levels and other relevant site information for this site to be obtained and concept updated as required prior to a contract being signed |
| Landscaping: | This plan is indicative only. Landscaping to be confirmed by the client. All Fencing to comply with the relevant Covenants. |
| Historical Interest: | N/A |
| Existing Use Rights: | N/A |
| Flood Management Area: | N/A |
| Developer Approval: | Required for: Street Tree relocation Front Yard setback Minimum floor area (200m ² required excl. garage) |
| Non Compliances Requiring RC: | N/A |

Important:
Timber deck areas are to be freestanding elements - not connected to main building and under 1.5m in height. Therefore these are exempt from building consent application as per the Building Act 2004, Schedule 1. Deck & steps are however are to be constructed in full accordance with NZBC D1/AS1 4.1.1, 4.1.8, 6.0 & Fig. 26 and NZBC Simple House SH/AS1 Section 3.4

Steps & Paths:
A Step/s or appropriate landscaping is to be provided if drop from external doors is greater than 190mm from FFL to FGL. All access routes must provide a non-slip surface in accordance to NZBC D1/AS Table 2. Convey surface water from sealed drive to an appropriate approved outfall.

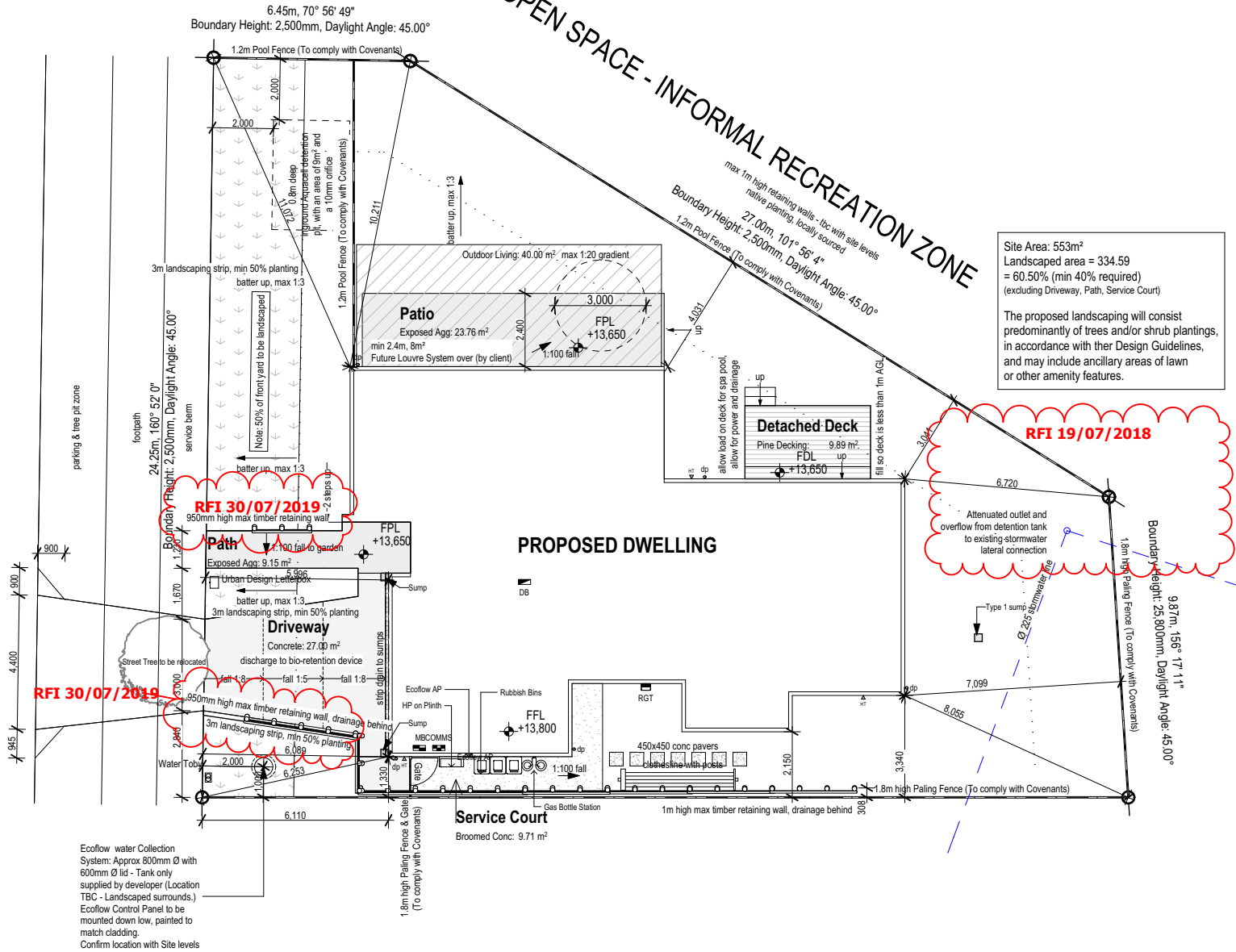
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DAME NGANEKO DRIVE

critical local road



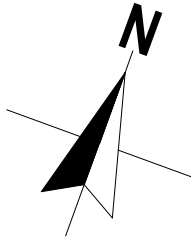
Ecoflow water Collection System: Approx 800mm Ø with 600mm Ø lid - Tank only supplied by developer (Location TBC - Landscaped surrounds.) Ecoflow Control Panel to be mounted down low, painted to match cladding. Confirm location with Site levels

NOTE: Site located in sea-spray zone, all structural fixings to be type 304 stainless steel

NOTE: THE SCHEDULE OF FIXTURES AND FITTINGS TAKES PRECEDENCE OVER THESE DRAWINGS

| | | | | | | | | |
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| | | | | | AMENDMENT DATE: 23/03/2018 | TECHNICIAN: CM VERSION: V3 CODE: 2 | | |

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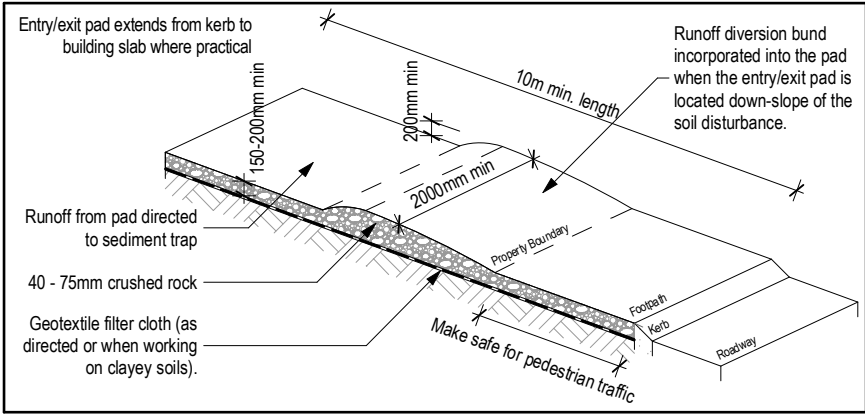
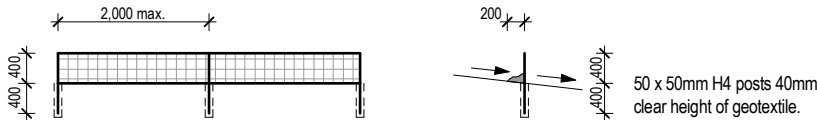
Main contractor to provide 2m min. high chain link fence (min. size 50 x 50mm) to prevent unauthorised entry to the site. All fencing to comply with F5 including relevant hazard signage.

Main contractor to provide on site a specific Health & Safety policy which is to be viewed & signed by all persons entering the site.

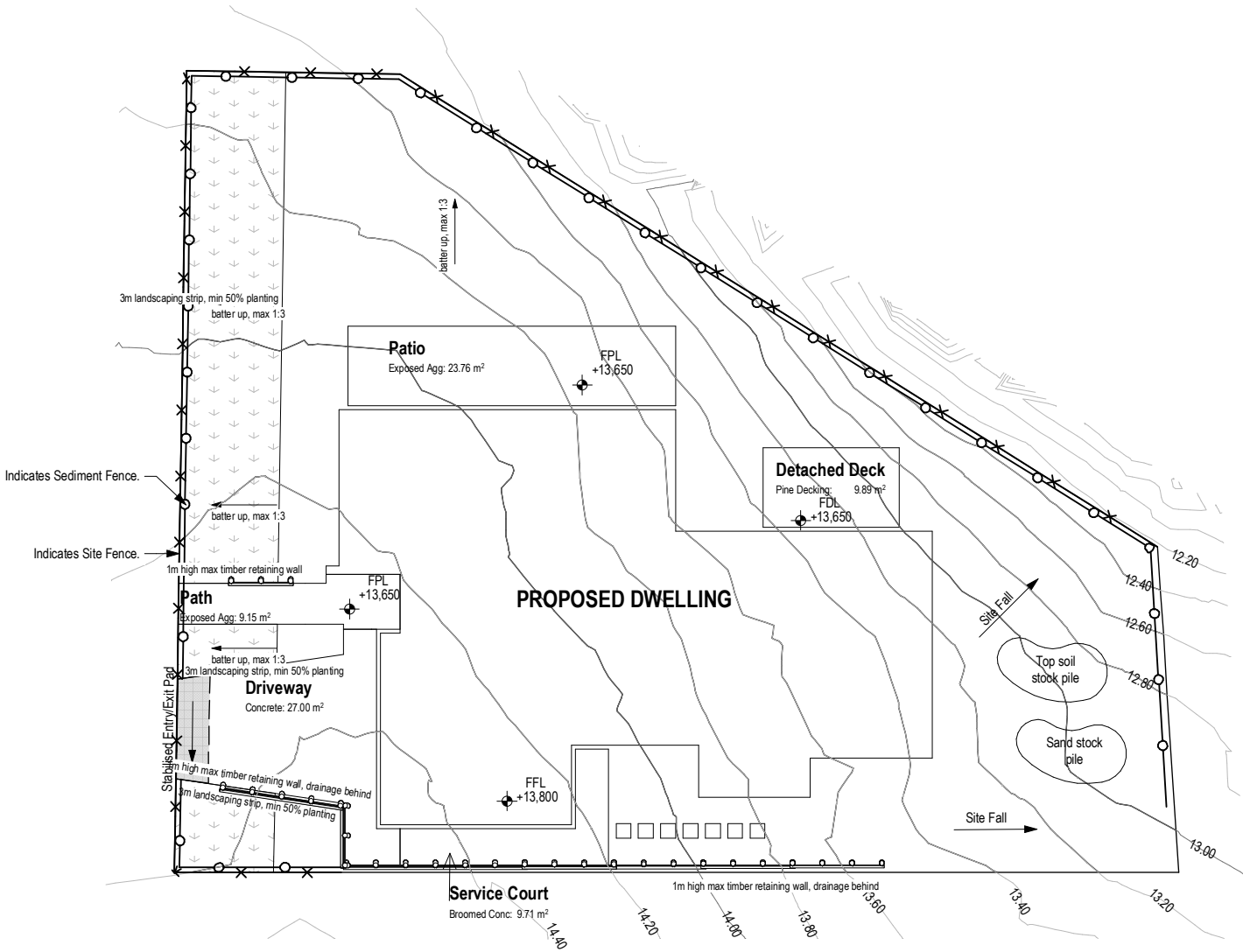
Sediment Control:

- Rumble pad to be created at point of entry & exit on site (Removed on completion of formed driveway)
- Rumble pad to be created in accordance to guidelines provided by the local Council & maintained in good condition throughout it's period of use.
- All ground cover/vegetation outside of immediate build area to be maintained throughout period of house build. This includes grass verges on the street frontage.
- Any stockpiles of soil or excavated material are to be kept to the rear of the site & covered with impervious sheets.
- Roof downpipes are to be connected to the installed stormwater drainage as soon as practical once roof cladding has been installed. Until this point ensure water run-off from downpipes is directed away from build area but not on to neighbouring properties.

No building work will be started on this project until the construction of an approved stormwater outfall has been completed for this proposed lot.



Stabilised Entry Pad

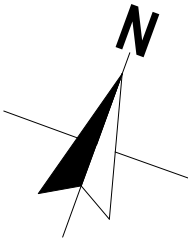


NOTE: Site located in sea-spray zone, all structural fixings to be type 304 stainless steel

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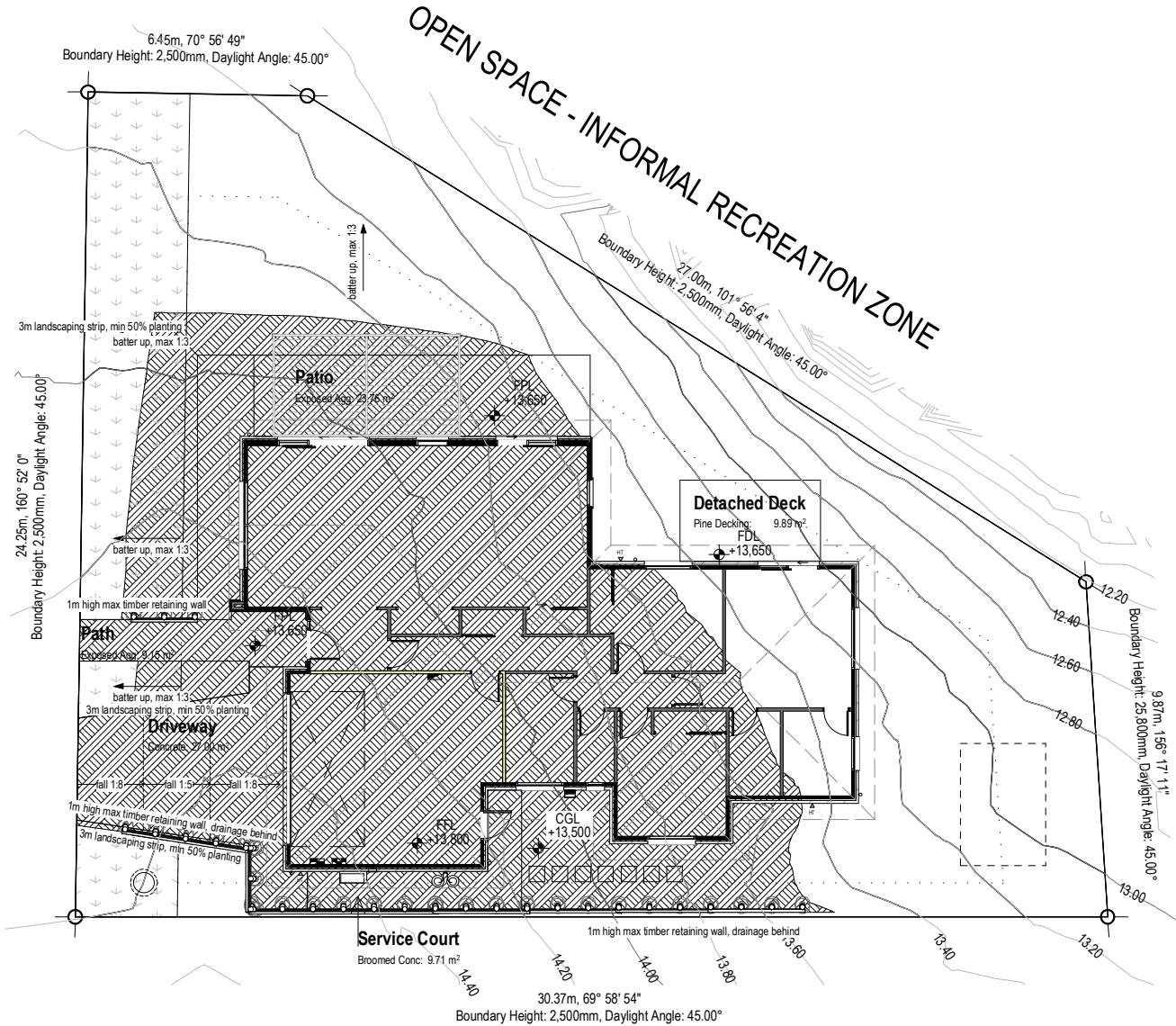
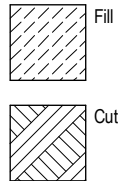
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CUT AND FILL NOTES

| | |
|--------------|----------------------|
| Cut Volume | 137.07m ³ |
| Fill Volume | Nil m ³ |
| Total Volume | 137.07m ³ |

CUT AND FILL LEGEND



Earthworks Plan

SCALE 1:200 @A3

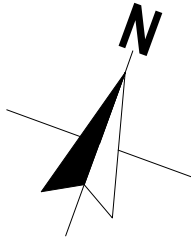


NOTE: Site located in sea-spray zone, all structural fixings to be type 304 stainless steel

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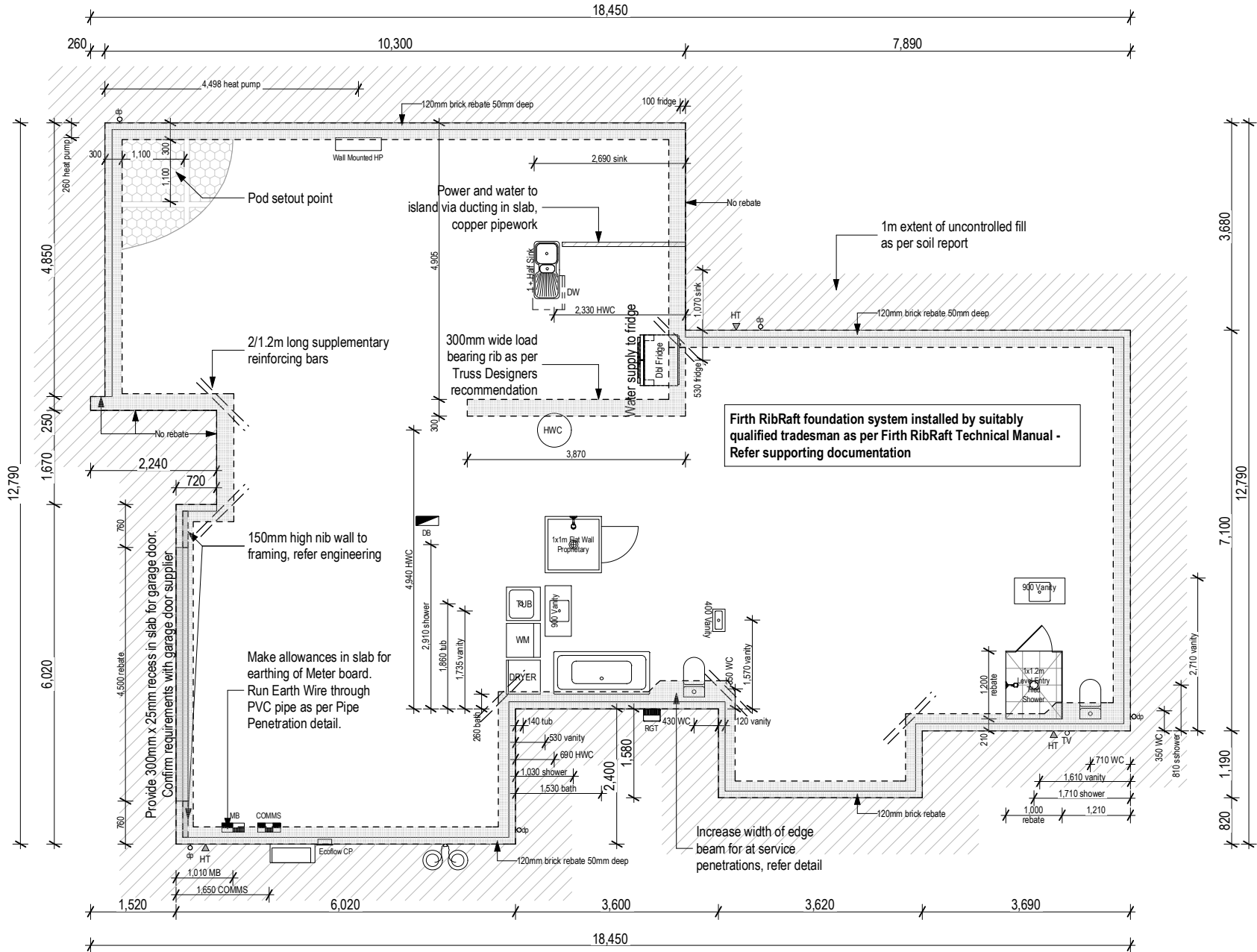
FOUNDATION NOTES:

- All foundation footing sizes, reinforcing & backfill will be as per Firth Ribraft Floor Slab System
- WC riser locations have a typical offset of 140mm from internal line of framing to center of waste. (Manufacturers technical specifications should be consulted to confirm offset)
- Vanity & Tub riser locations have a typical offset of 45mm to centre line of wall framing to centre of waste.
- Mesh in floor slab must be earthed. Earth with 16mm REO rod brought up into garage wall below meterox & wired to the mesh. At prewire, connect a clamp & piece of wire to rod & earth it to the meterbox.
- Minimum heights of concrete slab on ground above surrounding ground levels to be 150mm to sealed surface & 225mm to unsealed ground as per NZBC E2
- Finished floor level to be 150mm minimum above crown of road as per NZBC E1/AS1.
- Confirm layout of fittings of kitchen & bathroom etc. before foundation commences.

RIBRAFT NOTES:

- Ribraft floor to be installed in accordance with Firth Ribraft Technical Manual 2012
- 28MPa Raftmix concrete
- SE62 mesh
- 85mm thick slab
- 1100x1100x220mm thick polystyrene pods
- Building platform to extend 1m beyond slab edge
- Ultimate bearing capacity determined by scala penetrometer testing shall exceed 7 blows per 300mm of depth, or the site complies with NZS3604:2011

In order to limit cracking at the re-entrant, or internal corners, extra steel shall be placed on top of the mesh. These shall be 2-HD12 bars (Grade 500E), 1200mm long tied to the top of the mesh at 200mm centres, with 50mm cover from the internal corner



NOTE: Site located in sea-spray zone, all structural fixings to be type 304 stainless steel

NOTE: THE SCHEDULE OF FIXTURES AND FITTINGS TAKES PRECEDENCE OVER THESE DRAWINGS

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LEGEND

| Ref | Fixture | Waste Size | Gradient |
|-------|----------------------|------------------|----------|
| WC | Water Closet | 100mm | 1:60 |
| B | Bath | 65mm | 1:40 |
| SH | Shower | 65mm | 1:40 |
| S | Kitchen Sink + DW | 65mm | 1:40 |
| Van.U | Vanity Unit | 65mm | 1:40 |
| WHB | Wash Hand Basin | 65mm | 1:40 |
| TUB | Laundry Tub + WM | 65mm | 1:40 |
| HWC | Hot Water Cylinder | 20mm | 1:40 |
| WM | Washing Machine | Discharge to TUB | |
| GT | Gully Trap | | |
| RGT | Relief Gully Trap | | |
| TV | Terminal Vent | 50mm | |
| BV | Branch Vent | 40mm | |
| DP | Downpipe | 80mm dia | |
| RP | Rodding Point | | |
| IP | Inspection Point | | |
| AAV | Air Admittance Valve | | |
| HT | Hose Tap | | |
| HP | Heat Pump | | |

100mm uPVC surface water drain at 1:100 gradient to existing laterals at boundary. (SW)

100mm uPVC surface water drain at 1:100 gradient to detention pit. (SW)

100mm uPVC foul water drain at 1:60 gradient to existing laterals at boundary. (FW)

110mm Novaflo Drainage behind Retaining Wall with silt trap. (Retaining wall detail refer to engineer design)

Note:

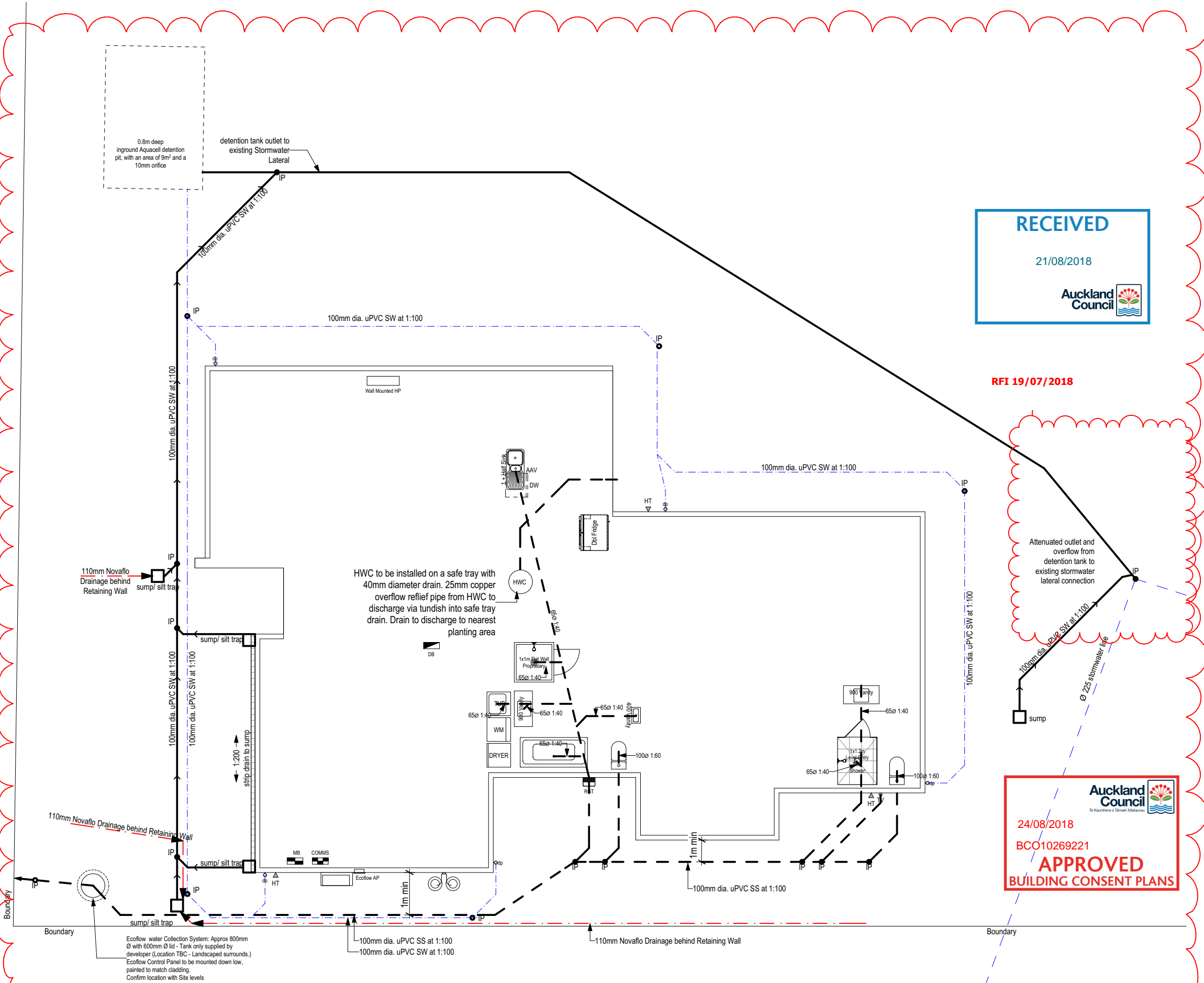
- Relief Gully Trap is to be positioned so that the top of the gully dish is no less than 150mm below the overflow level of the lowest sanitary fixture served by the drainage system.
- Position of drain connections at street laterals to be confirmed on site.
- Allow to thermally insulate all exterior pipework & valves exposed to external weather conditions.

General Note:

All plumbing and drainage to comply with Acceptable Solutions AS/NZS 3500 by qualified tradesman. Allow to check all dimensions and falls of drains onsite prior to installation. Use 80mm dia downpipes. Contractor to locate all service connections on site prior to earthworks, confirm all boundary setbacks & restrictions comply with current regulations prior to commencement of foundations. All waste pipes PVC. Sizes, fall, venting & discharge to be confirmed by NZ qualified plumber. Confirm positions of available services cabling etc. on site prior to any excavation. Internal water pipes to be Polybutylene. All pipework & pipes exposed to freezing to be lagged with closed cell foam.

RIBRAFT NOTE:

Services shall not be placed within any concrete except to cross that section of concrete, i.e. services shall not run along ribs or edge beams. Refer details



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21/08/2018



RFI 19/07/2018

Attenuated outlet and overflow from detention tank to existing stormwater lateral connection



24/08/2018

BCO10269221

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BUILDING CONSENT PLANS

NOTE: Site located in sea-spray zone, all structural fixings to be type 304 stainless steel

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JOB TITLE:

SHANKLAND

DRAWING TITLE:

Drainage Plan

LEGAL DESCRIPTION:

LOT: 90 DP: tbc
KAHAWAI POINT, GLENBROOK,
AUCKLAND

NOTES:

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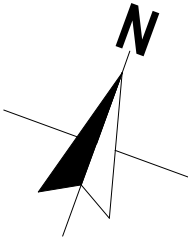
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GENERAL NOTES

Floor Area over Framing 166.76 m²
Floor Area over Foundation 173.76 m²
Floor Area over Foundation (incl. Covered Areas) 192.44 m²

Maximum Building Height 8m
Perimeter (Over Foundation) 67,080.mm

Wall Cladding Materials 70 series Brick Veneer on 50mm cavity
James Hardie Linea Weatherboard on 20mm cavity, 150mm, corner soakers
Roofing Materials Colorsteel Maxx Longrun 5 Rib

Construction Method TRADITIONAL
Pod Bathroom NO
Linings USG
Ceiling Battens 35mm Metal ceiling battens @ 400mm crs

Roof Pitch 20°
Eaves Width 600mm
Height To Underside Of Truss 2755mm
Lintel Height 2184mm
Soffit Height 2499mm

Note: in High Wind Zone 2755mm stud height: 90x45mm studs @ 400mm centres
2755mm stud height: 140x45mm studs @ 600mm centres
Internal Door Leaf Height Overheight - 2.2m
Internal Door Leaf Width Typically 810mm
Typically 710mm (Wet Areas)

Gas Supply 2x 9kg bottles

General: All dimensions to be confirmed on site

Heating: Heat pump to be fixed in position shown on the drawings.
Refer to specifications for more information.

Ceiling Vents: Bathroom & Ensuite to vent directly to exterior
Laundry to vent directly to exterior (unless opening window)
Range Hood to exit through soffit lining.

Smoke Alarms: Required within 3m of all sleeping areas, change in level & entry/exits as per NZS 4514 & BRANZ Bulletins
No's 252 & 309

EXTRAS:
Architraves to doors & windows throughout
Natural palette of colours
Garage door to be a recessive colour
Alarm System
Outdoor Lighting max 150 Lux
Native Planting to be locally sourced
3x attic trusses, attic ladder
Cat Door

ENGINEERING:
Foundation
Retaining walls
Earthworks

FLOOR PLAN NOTES:

- All glazing to comply with NZS4223
- All hard floor finishes to comply with NZBC D1/AS Table 2. Floor tiles to be non-slip & have a slip coefficient value of 0.35 - 0.65 for grit finished ceramic tiles.
- Hot water pipes to be sized according to NZBC G12 & NZS4305:1996. Mains pressure: 15mm dia. allows 12mm max. pipe length. Pipe length beyond this must be lagged.
- Satin enamel wall finish to bathroom, ensuite & those walls adjacent to sinks etc. in kitchen & laundry. One row of tiles to be used above basins, vanities & benches. Bottom edge to be filled with fungus/mold resistant sealant.

WATER PROOFING MEMBRANE NOTE:

Ardex Superflex waterproofing membrane required to tiled bathrooms with tiled rebated/level access showers.



Ground Floor Plan

SCALE 1:100 @A3

NOTE: Site located in sea-spray zone, all structural fixings to be type 304 stainless steel

NOTE: THE SCHEDULE OF FIXTURES AND FITTINGS TAKES PRECEDENCE OVER THESE DRAWINGS

| | | | | | | | | |
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GENERAL NOTES:

| | |
|----------------------------|--|
| Floor area over framing: | |
| Insulation: | R2.2 Exterior walls (+ interior garage walls) R3.2 Ceiling (excluding garage) |
| Typical stud height: | 2755mm to underside of truss. 90x45mm SG8 @ 400mm crs max. 140x45mm SG8 @ 600mm crs max. in HIGH wind zone. |
| Window lintel height: | 2184mm |
| Internal door leaf height: | Overheight 2.2m |
| Internal door leaf width: | Typically 810mm Typically 710mm (Wet areas) |
| General: | All exterior window & door lintels by truss manufacturer. Internal non- loadbearing walls to be SG8 graded. All dimensions to be confirmed on site. |

FIXING SCHEDULE:

| | |
|---|--|
| JOINT: FIXING: | |
| Exterior Bottom plate to concrete floor (Non-braced): | Anchors shall be M12 bolts set within 150mm of each end plate, spaced at a maximum of 900mm crs, bent to prevent turning and projecting sufficiently to allow a washer and fully threaded nut above the timber. Refer to NZS3604: 2011 Refer to bracing plan for additional hold down fixings. |
| Interior bottom plate to concrete floor: | 75 x 8mm shot fired fastenings with 16mm washers @ 600mm crs, within 150mm each end of plate. Refer to bracing plan for additional hold down fixings. |
| Stud to Bottom or Top plate: | 4/100 x 3.15mm skewed nails |
| Dwang to stud: | 2/100 x 3.15mm skewed nails |
| Fish plate to Straightened stud: | 4/60 x 2.8mm nails each side |
| Half Joint in top Plate: | 4/100 x 3.15mm skewed nails |
| Lintel to trimming Stud: | 4/100 x 3.15mm skewed nails |
| Standard soffit stringer to stud: | 2/100 x 3.75mm nails |
| Sill trimmer to trimming stud for: | |
| - Trimmer not exceeding 2400mm | 2/100 x 3.75mm end nails |
| - Trimmer not exceeding 3000mm | 3/100 x 3.75mm end nails |
| - Trimmer not exceeding 3600mm | 4/100x3.75mm end nails |
| Double top plate to top plate: | 2/100 x 3.75mm @ 500mm crs |
| Trimming studs together at openings, Studs & blocking at wall intersections: | 100 x 3.75mm nails @ 600mm crs |
| Trimming Stud to Doubling Stud immediately under lintels: | |
| Trusses to Top Plate: | 2/100 x 3.75mm nails Refer to truss design (Or 2/90mm x 3.15mm skew nails plus 2/wiredogs. (Alt. fixing 4.7Kn) |

| | |
|--|---------------------------------------|
| Ceiling battens to Truss bottom chord: | 2/75 x 3.15mm nails @ 400mm crs |
| Outrigger to Gable Top Plate: | 1/14g self drilling screw, 150mm long |
| Outrigger to Truss: | 2/100 x 3.75mm end nails |
| Flying Rafter to Outrigger: | 2/100 x 3.75mm end nails |
| Outrigger Blocking to Top Plate: | 4/100 x 3.75mm skewed nails |
| Purlins to Truss: | 1/10g self drilling screw, 80mm long |

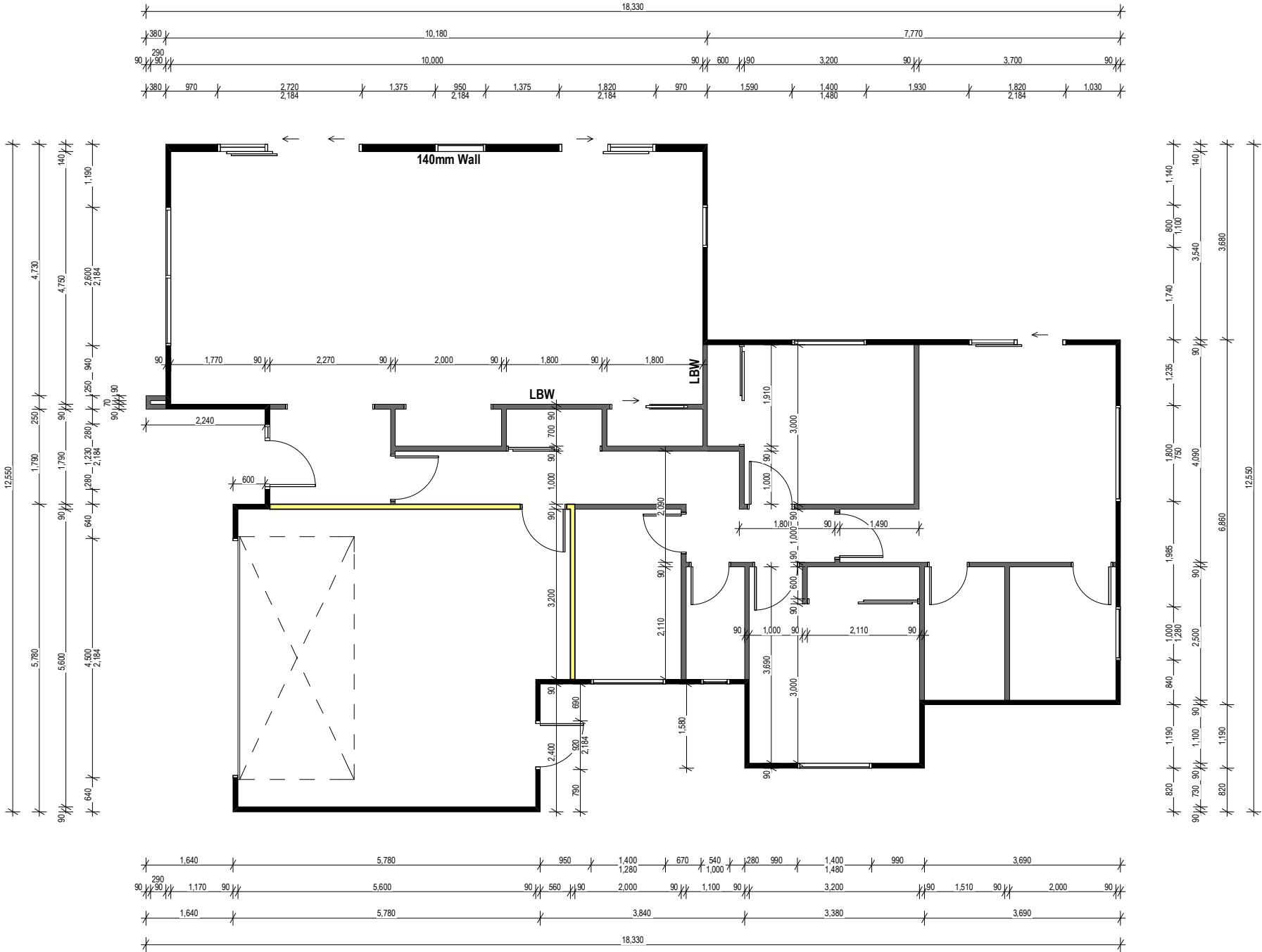
SCHEDULE OF FRAMING TIMBERS - GRADING AND TREATMENT

| | |
|---|---------------------------------|
| Wall framing | |
| Exterior walls & lintels | SG8, H1.2, Pinus radiata |
| Interior walls (loadbearing) | SG8, H1.2, Pinus radiata |
| Interior walls (non-loadbearing) | SG8, H1.2, Pinus radiata |
| Wet Area Bottom plates & Framing | SG8, H3.2, Pinus radiata |

| | |
|------------------------|--------------------------|
| Cavity battens: | |
| -Dry Cavity | SG8, H3.2, Pinus radiata |
| -Wet Cavity | SG8, H3.2, Pinus radiata |

| | |
|-----------------------------|--------------------------|
| Roof framing | |
| Roof trusses - typical | SG8, H1.2, Pinus radiata |
| Gable end truss | SG8, H1.2, Pinus radiata |
| Coved or attic trusses | SG8, H1.2, Pinus radiata |
| Purlins/Battens | SG8, H1.2, Pinus radiata |
| Valley boards, barge boards | SG8, H1.2, Pinus radiata |

| | |
|---------------------|------------------------------|
| Windows | |
| Framing and reveals | Dressed, H3.1, Pinus radiata |



Ground Floor Framing Plan

SCALE 1:100 @A3

- Indicates insulated wall (R2.2 Batts)
- Indicates non-insulated wall
- Indicates insulated wall (R2.2 Batts)

Sizing of timber plates

| | |
|--------------|--|
| Bottom Plate | 45mm thick, width to match stud. SG8, H1.2, Pinus Radiata |
| Top Plate | 45mm thick, width to match stud. Additional top plate 35mm thick, 90mm wide if 90mm wall, 140mm wide if 140mm wall. SG8, H1.2, Pinus Radiata |

All tiled areas to have dwangs @ 600mm crs. max. (Excludes skirting/upstands)

Note: Gable ends clad in Brick to have studs @ 400mm ctrs

NOTE: Site located in sea-spray zone, all structural fixings to be type 304 stainless steel

NOTE: THE SCHEDULE OF FIXTURES AND FITTINGS TAKES PRECEDENCE OVER THESE DRAWINGS

| | | | | | | | | |
|---|--------------------------------|---------------------------------------|--|---|------------------------------|-----------------|-----------------|------------------------|
|  © Mike Greer Homes NZ Ltd PHONE: (03) 354 0166 I FAX: (03) 354 0167 ADDRESS: Tower 2, 7 Deans Avenue, Addington, Christchurch 8011 WEB: www.mikagreerhomes.co.nz | JOB TITLE: SHANKLAND | DRAWING TITLE: Framing Plan | LEGAL DESCRIPTION: LOT: 90 DP: tbc KAHAWAI POINT, GLENBROOK, AUCKLAND | NOTES: - Subject to council approval - All measurements to be confirmed on site by the contractor prior to the commencement of work. © 2017 Mike Greer Homes NZ Limited. All rights reserved. No part of this work covered by copyright may be reproduced or copied in any form or by any means without the written permission of Mike Greer Homes NZ Limited | DATE OF ISSUE: 19/01/2018 | DESIGNER: GQ | SCALE: 1:100 | SHEET: A2.02 |
| | | | | AMENDMENT DATE: 23/03/2018 | TECHNICIAN: CM | JOB # | | |
| | | | | | | VERSION: V3 | CODE: 2 | |



BRACING NOTES:

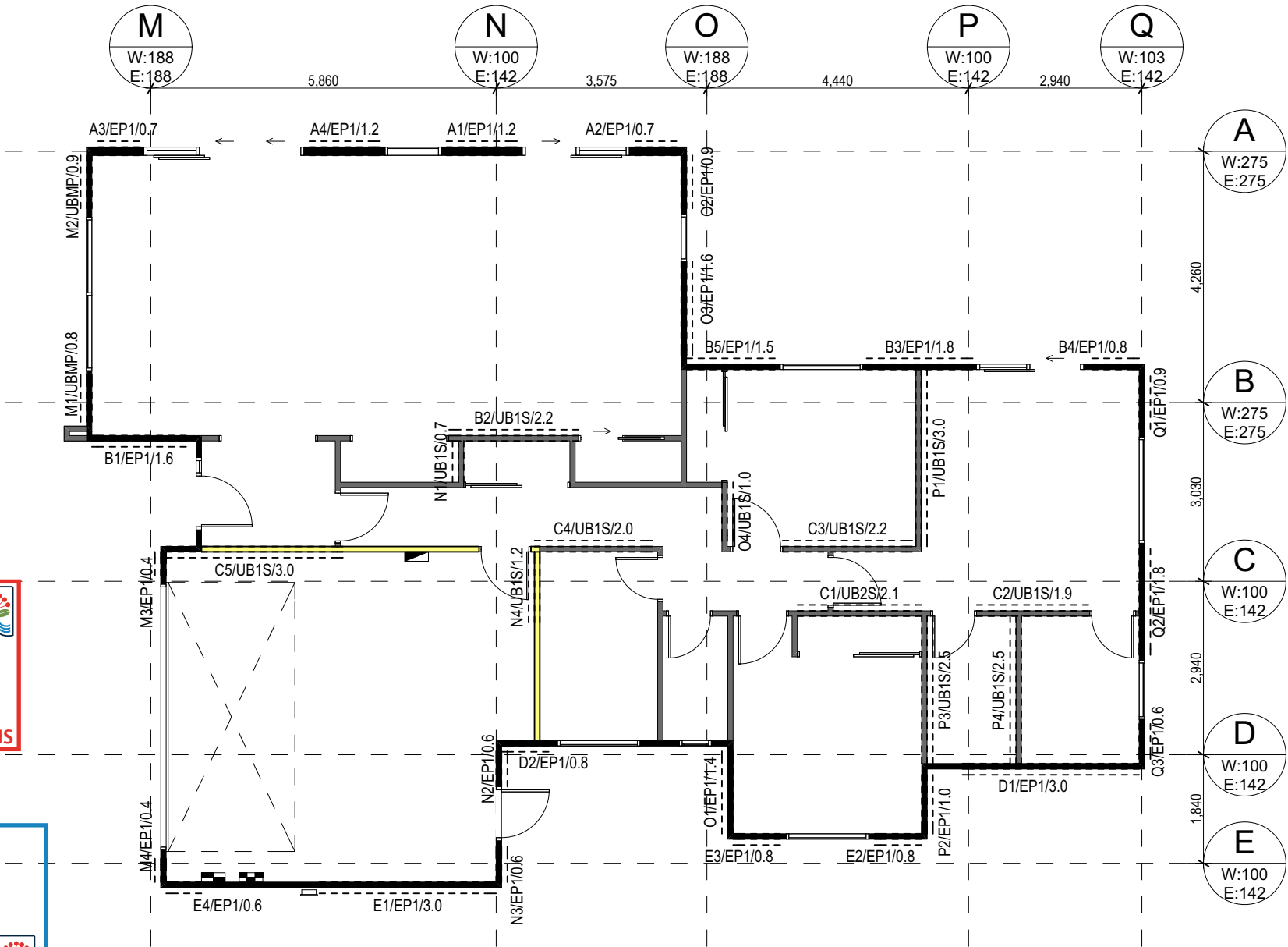
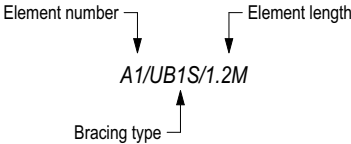
Where the distance between bracing lines at right angles to the plate is between 5.0m & 6.0m, the 90 x 45mm top plate shall be strengthened by the addition of a 140 x 35mm plate of at least the same grade as the top plate. Refer to NZS 3604:2011, 8.7.4.2.

Reading the Bracing Plan:

- UB1S - 10mm Sheetrock on one side - 0.4m to 6.0m
- UB2S - 10mm Sheetrock on both sides - 0.4m to 4.8m
- EP1 - Ecoply one side with hold downs - 0.4m to 3.0m
- UBMP - 10mm Multistop on one side 7mm DD structural plywood the other side with hold downs - 0.4m to 2.4m

Openings in Bracing Elements:

Openings are allowed within the middle third of a wall bracing element's length & height. Neither opening dimension shall be more than one third of the element height. Wall linings are fixed to opening trimmers at 150mm crs. Small openings (e.g. power outlets) of 90 x 90mm or less may be placed no closer than 90mm to the edge of the braced element.



Ground Floor Bracing Plan

SCALE 1:100 @A3

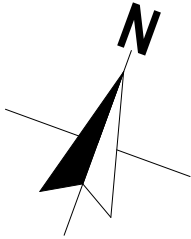
| BRACING CALCULATIONS | | | |
|--|---------------|---------------------|----------------|
| Location of Storey | Single | Floor Load | 2kPa |
| Floor Height to Apex | 5.0 m | Roof Weight | Light |
| Roof Height Above Eaves | 2.0 m | Cladding Weights: | |
| Roof Pitch | 0 - 25 ° | - Subfloor | Concrete Floor |
| Roof Style | Gable | - Wall Cladding | Heavy |
| Building Length (BL) | 18.0 m | Building Width (BW) | 12.6 m |
| Room in Roof Space | 0 | Wind Zone | High |
| Soil Class | E - Very Soft | W along | 55.0 BUs/m |
| Gross Plan Area (GPA) | 166.8 m2 | W across | 50.0 BUs/m |
| Earthquake Zone | 1 | W along x BW | 693.0 BUs |
| EQ | 8.5 BUs/m2 | W across x BL | 900.0 BUs |
| EQ x GPA | 1,417.5 BUs | | |
| Calculations are based on NZS3604:2011 | | | |

| ALONG | | | | | | | | | | | |
|------------------|-----------|-----------|---------------------------|------------|--------------|-------------|--------------|--------------|--------------|--------------|--------------|
| Bracing Line | | | Bracing Elements Provided | | | | | Wind | | Earthquake | |
| Line Label | Min BUs W | Min BUs E | Brace No. | Brace Type | Brace Length | Brace Angle | Brace Height | Rating BUs/m | BUs Achieved | Rating BUs/m | BUs Achieved |
| A | 275 | 275 | A1 | EP1 1.2 | 1.2 | 0.0 | 2.8 | 120 | 125.4 | 135 | 141.1 |
| | | | A2 | EP1 0.6 | 0.7 | 0.0 | 2.8 | 95 | 57.9 | 105 | 64.0 |
| | | | A3 | EP1 0.6 | 0.7 | 0.0 | 2.8 | 95 | 57.9 | 105 | 64.0 |
| | | | A4 | EP1 1.2 | 1.2 | 0.0 | 2.8 | 120 | 125.4 | 135 | 141.1 |
| B | 275 | 275 | B1 | EP1 1.2 | 1.6 | 0.0 | 2.8 | 120 | 167.3 | 135 | 188.2 |
| | | | B2 | UB1S-0.4 | 2.2 | 0.0 | 2.8 | 55 | 105.4 | 50 | 95.8 |
| | | | B3 | EP1 1.2 | 1.8 | 0.0 | 2.8 | 120 | 188.2 | 135 | 211.7 |
| | | | B4 | EP1 0.6 | 0.8 | 0.0 | 2.8 | 95 | 66.2 | 105 | 73.2 |
| | | | B5 | EP1 1.2 | 1.5 | 0.0 | 2.8 | 120 | 156.8 | 135 | 176.4 |
| C | 100 | 142 | C1 | UB2S-0.4 | 2.1 | 0.0 | 2.8 | 65 | 119.5 | 60 | 110.3 |
| | | | C2 | UB1S-0.4 | 1.9 | 0.0 | 2.8 | 55 | 91.0 | 50 | 82.8 |
| | | | C3 | UB1S-0.4 | 2.2 | 0.0 | 2.8 | 55 | 105.4 | 50 | 95.8 |
| | | | C4 | UB1S-0.4 | 2.0 | 0.0 | 2.8 | 55 | 95.8 | 50 | 87.1 |
| | | | C5 | UB1S-0.4 | 3.0 | 0.0 | 2.8 | 55 | 143.7 | 50 | 130.7 |
| D | 100 | 142 | D1 | EP1 1.2 | 3.0 | 0.0 | 2.8 | 120 | 313.6 | 135 | 352.8 |
| | | | D2 | EP1 0.6 | 0.8 | 0.0 | 2.8 | 95 | 66.2 | 105 | 73.2 |
| E | 100 | 142 | E1 | EP1 1.2 | 3.0 | 0.0 | 2.8 | 120 | 313.6 | 135 | 352.8 |
| | | | E2 | EP1 0.6 | 0.8 | 0.0 | 2.8 | 95 | 66.2 | 105 | 73.2 |
| | | | E3 | EP1 0.6 | 0.8 | 0.0 | 2.8 | 95 | 66.2 | 105 | 73.2 |
| | | | E4 | EP1 0.4 | 0.6 | 0.0 | 2.8 | 80 | 41.8 | 95 | 49.7 |
| Totals Achieved: | | | | | | | | W | 2,473.7 | E | 2,637.0 |
| Totals Required: | | | | | | | | W | 693.0 | E | 1,417.5 |

| ACROSS | | | | | | | | | | | |
|------------------|-----------|-----------|---------------------------|------------|--------------|-------------|--------------|--------------|--------------|--------------|--------------|
| Bracing Line | | | Bracing Elements Provided | | | | Wind | | | Earthquake | |
| Line Label | Min BUs W | Min BUs E | Brace No. | Brace Type | Brace Length | Brace Angle | Brace Height | Rating BUs/m | BUs Achieved | Rating BUs/m | BUs Achieved |
| M | 188 | 188 | M1 | EP1 1.2 | 0.8 | 0.0 | 2.8 | 120 | 83.6 | 130 | 90.6 |
| | | | M2 | UBMP<1200 | 0.9 | 0.0 | 2.8 | 120 | 94.1 | 130 | 101.9 |
| | | | M3 | EP1 0.4 | 0.4 | 0.0 | 4.0 | 80 | 19.4 | 95 | 23.1 |
| | | | M4 | EP1 0.4 | 0.4 | 0.0 | 4.0 | 80 | 19.4 | 95 | 23.1 |
| N | 100 | 142 | N1 | UB1S-0.4 | 0.7 | 0.0 | 2.8 | 55 | 33.5 | 50 | 30.5 |
| | | | N2 | EP1 0.4 | 0.6 | 0.0 | 2.8 | 80 | 41.8 | 95 | 49.7 |
| | | | N3 | EP1 0.4 | 0.6 | 0.0 | 2.8 | 80 | 41.8 | 95 | 49.7 |
| | | | N4 | UB1S-0.4 | 1.2 | 0.0 | 2.8 | 55 | 57.5 | 50 | 52.3 |
| O | 188 | 188 | O1 | EP1 1.2 | 1.4 | 0.0 | 2.8 | 120 | 146.4 | 135 | 164.6 |
| | | | O2 | EP1 0.6 | 0.9 | 0.0 | 2.8 | 95 | 74.5 | 105 | 82.3 |
| | | | O3 | EP1 1.2 | 1.6 | 0.0 | 2.8 | 120 | 167.3 | 135 | 188.2 |
| | | | O4 | UB1S-0.4 | 1.0 | 0.0 | 2.8 | 55 | 47.9 | 50 | 43.6 |
| P | 100 | 142 | P1 | UB1S-0.4 | 3.0 | 0.0 | 2.8 | 55 | 143.7 | 50 | 130.7 |
| | | | P2 | EP1 1.2 | 1.0 | 0.0 | 2.8 | 95 | 82.8 | 105 | 91.5 |
| | | | P3 | UB1S-0.4 | 2.5 | 0.0 | 2.8 | 55 | 119.8 | 50 | 108.9 |
| | | | P4 | UB1S-0.4 | 2.5 | 0.0 | 2.8 | 55 | 119.8 | 50 | 108.9 |
| Q | 103 | 142 | Q1 | EP1 0.6 | 0.9 | 0.0 | 2.8 | 95 | 74.5 | 105 | 82.3 |
| | | | Q2 | EP1 1.2 | 1.8 | 0.0 | 2.8 | 120 | 188.2 | 135 | 211.7 |
| | | | Q3 | EP1 0.4 | 0.6 | 0.0 | 2.8 | 80 | 41.8 | 95 | 49.7 |
| Totals Achieved: | | | | | | | | W | 1,597.7 | E | 1,683.0 |
| Totals Required: | | | | | | | | W | 900.0 | E | 1,417.5 |

NOTE: THE SCHEDULE OF FIXTURES AND FITTINGS TAKES PRECEDENCE OVER THESE DRAWINGS

J:\SouthAuckland\SA24317 Design & Working Drawings\7-0 Workings\7-0-1 Concept & WD PLNs\SA017 Lot 90 KAHAWAI Point SHANKLAND V3 - WD.pln 19/07/2018 cmackie



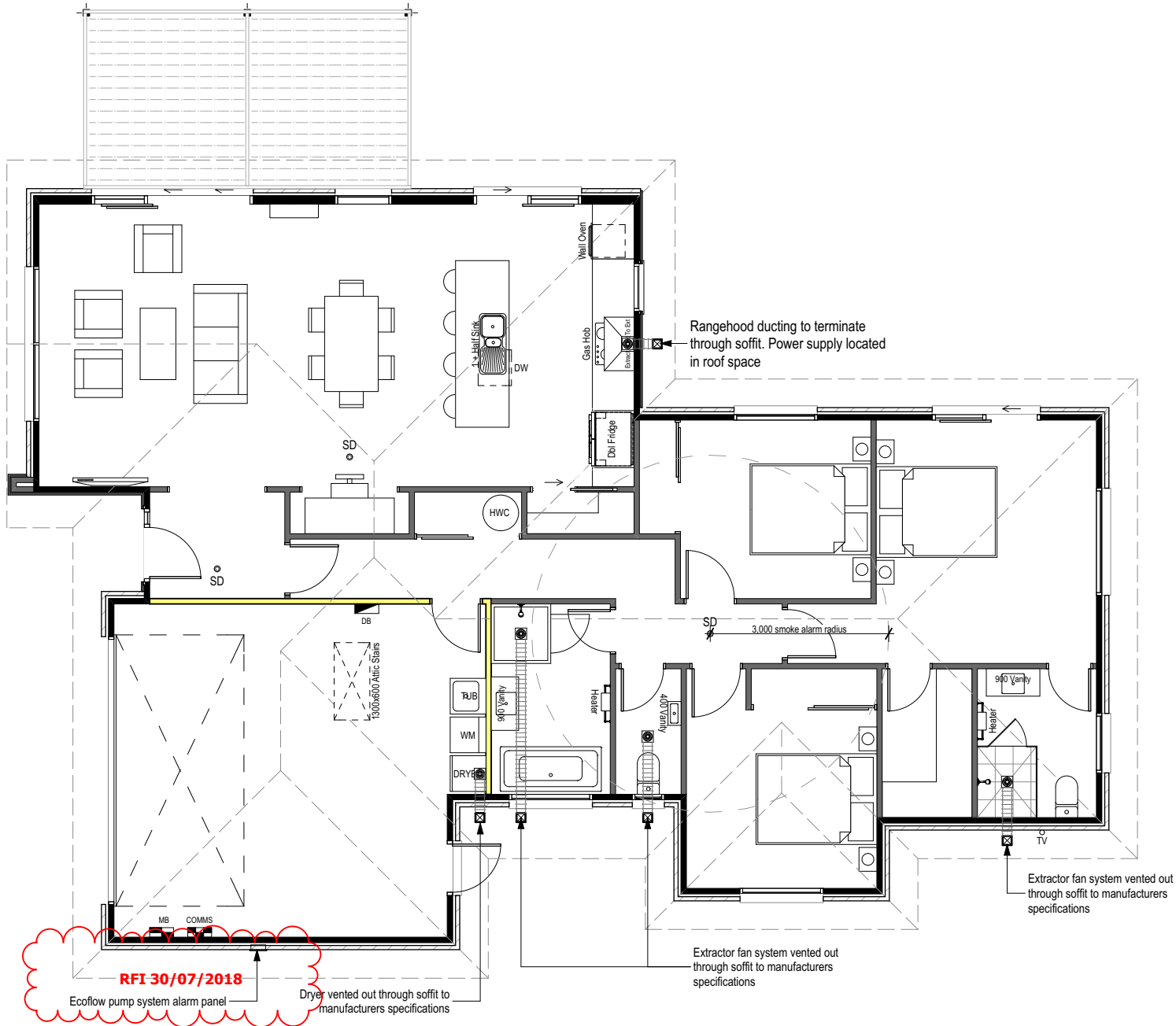
ELECTRICAL NOTES

- Allow for single switched powerpoint for standard appliances: Fridge, Dishwasher, Waste Disposal, Rangehood, Hob, Oven, Refer to kitchen design for layout and positions of kitchen area sockets etc. All power points are indicative only and must be positioned and confirmed on site by architect and/or owner.
- All electrical installations to be in accordance with NZECP 51:2001
- Mesh in floor slab must be earthed, earth with 16mm REO rod brought up into garage wall below meterbox and wired to the mesh. At prewire, connect a clamp and piece of wire to rod and earth it to the meterbox.
- Where downlights are to be installed, only CA 80, CA 135, IC or IC-F downlights are permitted in private or rental dwellings. (Note that IC downlights can only be used with insulation that passes the needle flame test of AS/NZS 60598 2.2 clause 11.5). Recessed downlights that are not labelled as above are not permitted to be installed into residential buildings.
- Total of 20 lux of illuminance for the total wattage required per m2 of floor area as shown in NZBC G8 / AS1 Table 1.
- Lighting and electrical by others, all positions and types to be selected and confirmed by client with contractor unless noted otherwise.
- Mechanical ventilation in housing removing moisture shall be vented outside (includes wet areas & cooker hoods). Refer to NZBC G4/AS1 1.3.C.iiio, Mechanical Ventilation to be 150 dia 230 Cu M/H inline fan ducted to soffit. Auto extractor fans shall terminate through wall/soffit/roof with an extraction rate as set out in NZBC G4.
- All smoke alarms are to comply with NZBC F7 and be manufactured to at least one of: AS 3786, ISO 12239 or BS EN 14604, Required within 3m of all sleeping areas, change in level & entry/exits as per NZS 4514 & BRANZ Bulletins No's 252 & 309
- Downlights shall be CA80 check the insulation manufacturers instructions to ensure their product is safe when installed along side proposed downlights

GENERAL PLACEMENT NOTES

- Powerpoints typically 300mm from nearest corner & 300mm from FFL unless otherwise noted.
- Powerpoints in wet areas to be 1,200mm high from FFL and vertically fixed unless otherwise noted.
- Powerpoint for heater to be located 300mm below finished ceiling level
- Powerpoints in kitchen to be 1000mm high from FFL
- Light switches typically 150mm from nearest corner or door frame & 1,200mm from FFL unless otherwise noted.
- HWC switch 300mm above FFL
- Laundry Power Point 1000mm above FFL

Note:
House to be wired for alarm with key pad @ entrance and garage



ELECTRICAL LEGEND

- Meterboard / Earth
- Distribution Board
- Communications Panel
- Smoke Detector
- Hot Water Cylinder
- Heated Towel Rail
- Bathroom Heater
- Outlet Grille
- Mechanical Vent / Ducting
- Extract Grille

Ground Floor Electrical Plan

SCALE 1:100 @A3

RECEIVED

10/08/2018

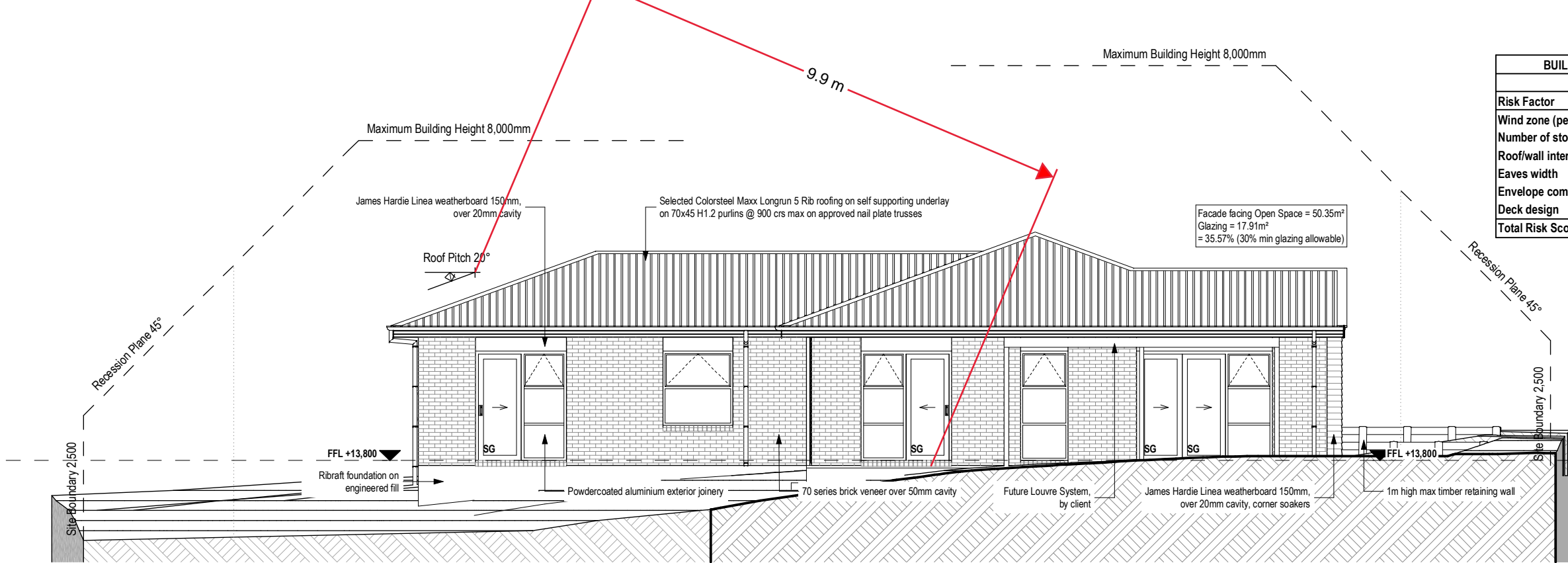


NOTE: Site located in sea-spray zone, all structural fixings to be type 304 stainless steel

NOTE: THE SCHEDULE OF FIXTURES AND FITTINGS TAKES PRECEDENCE OVER THESE DRAWINGS

| | | | | | | | | |
|---|--------------------------------|--|--|--|-------------------------------|---|-----------------|------------------------|
| © Mike Greer Homes NZ Ltd PHONE: (03) 354 0166 FAX: (03) 354 0167 ADDRESS: Tower 2, 7 Deans Avenue, Addington, Christchurch 8011 WEB: www.mikegreerhomes.co.nz | JOB TITLE: SHANKLAND | DRAWING TITLE: Electrical Plan | LEGAL DESCRIPTION: LOT: 90 DP: tbc KAHAWAI POINT, GLENBROOK, AUCKLAND | NOTES: - Subject to council approval - All measurements to be confirmed on site by the contractor prior to the commencement of work © 2017 Mike Greer Homes NZ Limited. All rights reserved. No part of this work covered by copyright may be reproduced or copied in any form or by any means without the written permission of Mike Greer Homes NZ Limited | DATE OF ISSUE: 19/01/2018 | DESIGNER: GQ | SCALE: 1:100 | SHEET: A2.05 |
| | | | | | AMENDMENT DATE: 23/03/2018 | TECHNICIAN: CM VERSION: V3 CODE: 2 | | |

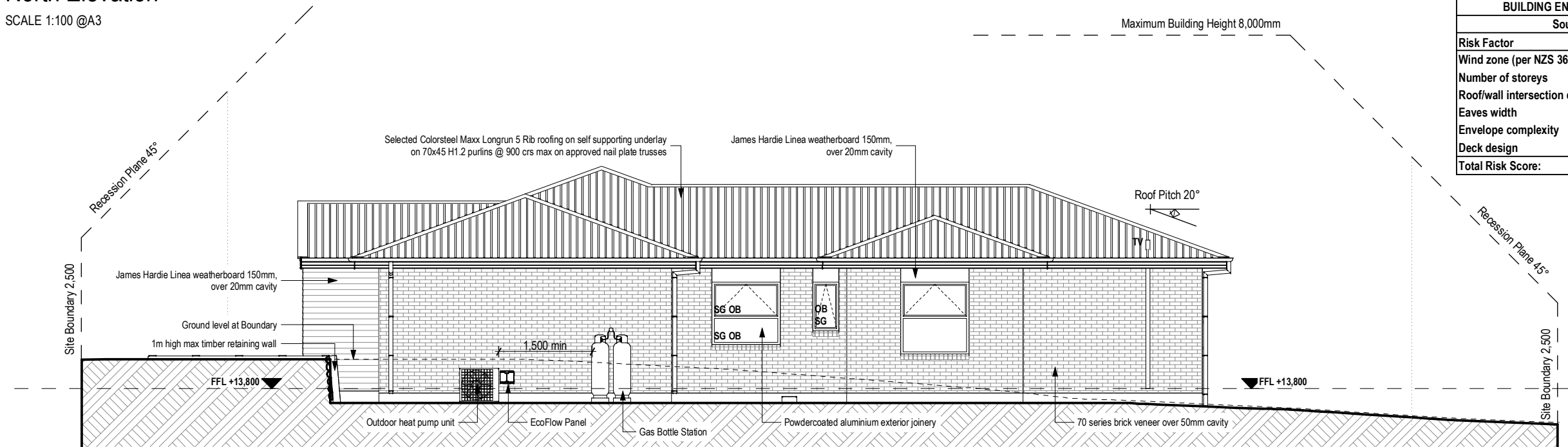
\\mghchdc01\Jobs\SouthAuckland\SA243\7 Design & Working Drawings\7-0 Workings\7-0-1 Concept & WD PLNs\SA017 Lot 90 Kahawai Point SHANKLAND V3 - WD.pln 23/05/2018 cmackie



| BUILDING ENVELOPE RISK MATRIX | | |
|-------------------------------|---------------|------------|
| North Elevation | | |
| Risk Factor | Risk Severity | Risk Score |
| Wind zone (per NZS 3604) | High risk | 1 |
| Number of storeys | Low risk | 0 |
| Roof/wall intersection design | Low risk | 0 |
| Eaves width | Medium risk | 1 |
| Envelope complexity | Medium risk | 1 |
| Deck design | Low risk | 0 |
| Total Risk Score: | | 3 |

North Elevation

SCALE 1:100 @A3



| BUILDING ENVELOPE RISK MATRIX | | |
|-------------------------------|---------------|------------|
| South Elevation | | |
| Risk Factor | Risk Severity | Risk Score |
| Wind zone (per NZS 3604) | High risk | 1 |
| Number of storeys | Low risk | 0 |
| Roof/wall intersection design | Low risk | 0 |
| Eaves width | Medium risk | 1 |
| Envelope complexity | Medium risk | 1 |
| Deck design | Low risk | 0 |
| Total Risk Score: | | 3 |

South Elevation

SCALE 1:100 @A3

Glazing and glazed openings to comply with NZS 4223.3:2016 Glazing in buildings - Part 3: Human impact safety requirements, NZS 4211:2008: Specification for preformance of windows and New Zealand Building Code Clauses: F2 Hazardous Building Materials & F4: Safety from Falling.

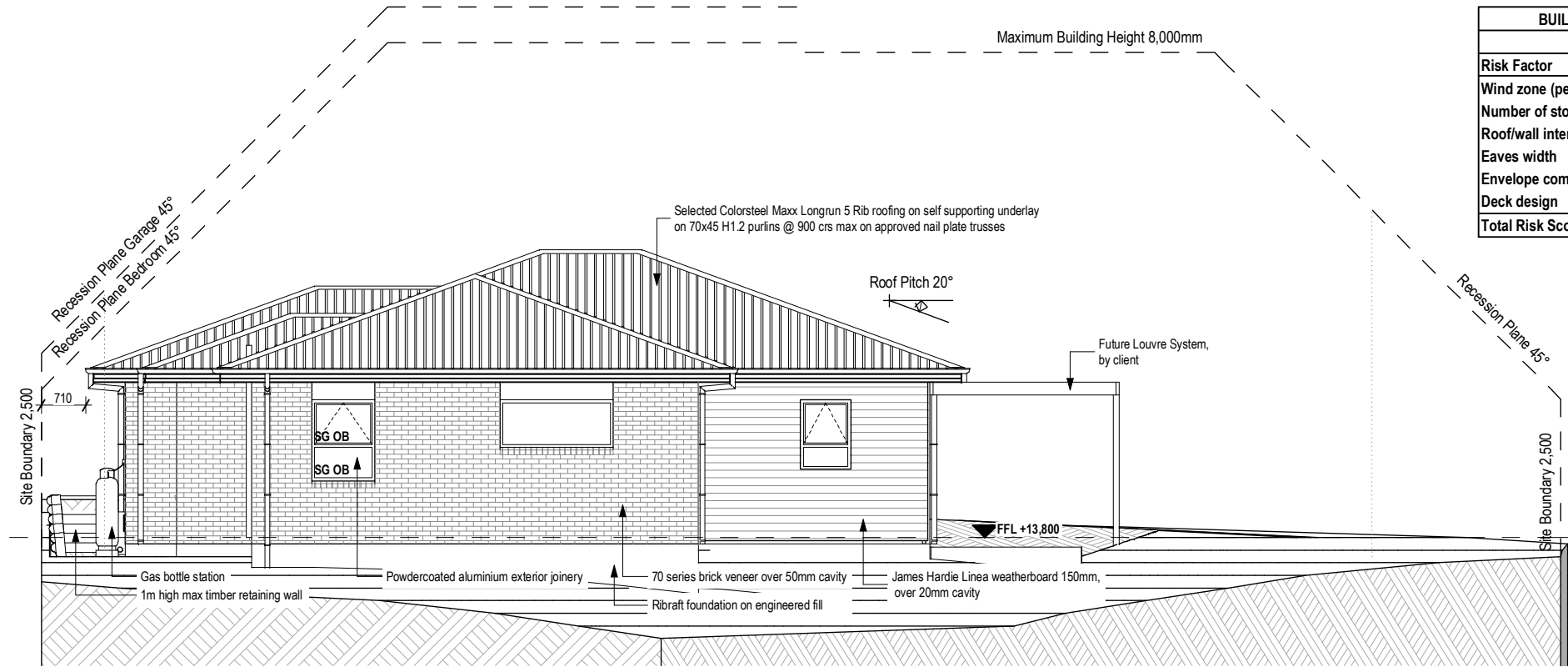
NOTE: Site located in sea-spray zone, all structural fixings to be type 304 stainless steel

NOTE: THE SCHEDULE OF FIXTURES AND FITTINGS TAKES PRECEDENCE OVER THESE DRAWINGS

| | | | | | | | | |
|---|--------------------------------|-------------------------------------|--|--|-------------------------------|---|-----------------|------------------------|
|  © Mike Greer Homes NZ Ltd PHONE: (03) 354 0166 FAX: (03) 354 0167 ADDRESS: Tower 2, 7 Deans Avenue, Addington, Christchurch 8011 WEB: www.mikegreerhomes.co.nz | JOB TITLE: SHANKLAND | DRAWING TITLE: Elevations | LEGAL DESCRIPTION: LOT: 90 DP: tbc KAHAWAI POINT, GLENBROOK, AUCKLAND | NOTES: - Subject to council approval - All measurements to be confirmed on site by the contractor prior to the commencement of work © 2017 Mike Greer Homes NZ Limited. All rights reserved. No part of this work covered by copyright may be reproduced or copied in any form or by any means without the written permission of Mike Greer Homes NZ Limited | DATE OF ISSUE: 19/01/2018 | DESIGNER: GQ | SCALE: 1:100 | SHEET: A3.01 |
| | | | | | AMENDMENT DATE: 23/03/2018 | TECHNICIAN: CM VERSION: V3 CODE: 2 | | |



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East Elevation

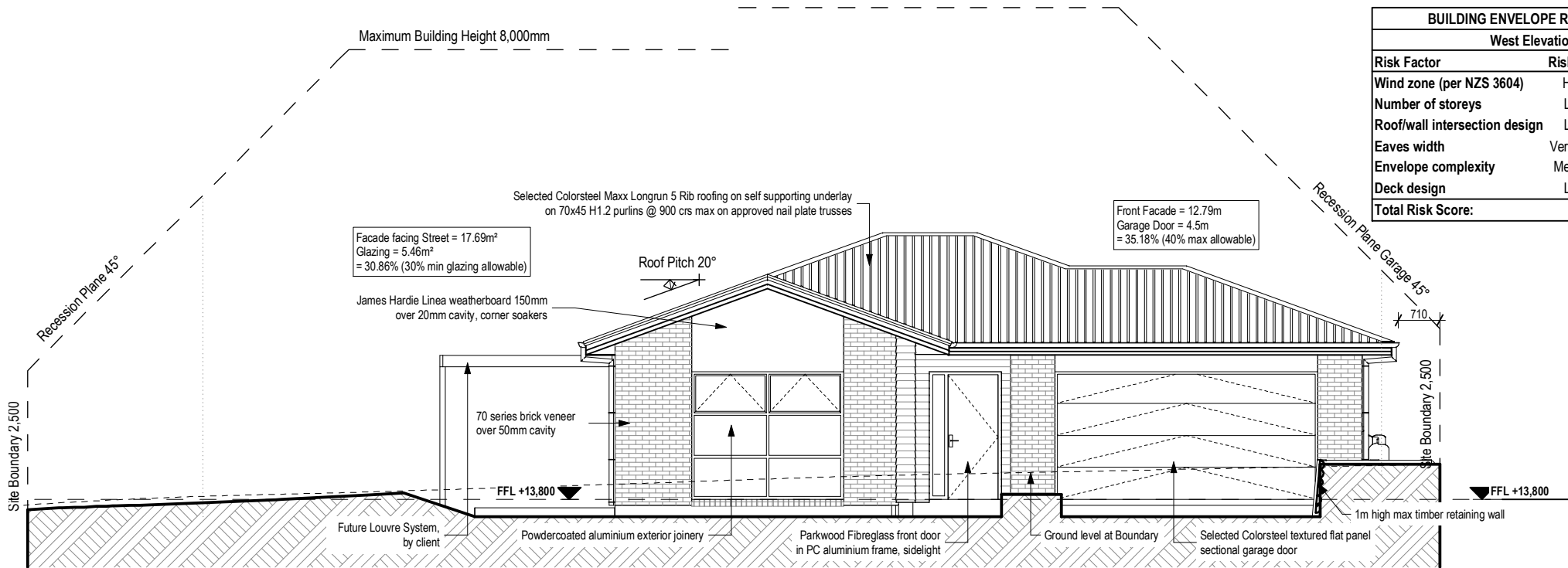
SCALE 1:100 @A3

| BUILDING ENVELOPE RISK MATRIX | | |
|-------------------------------|---------------|------------|
| East Elevation | | |
| Risk Factor | Risk Severity | Risk Score |
| Wind zone (per NZS 3604) | High risk | 1 |
| Number of storeys | Low risk | 0 |
| Roof/wall intersection design | Low risk | 0 |
| Eaves width | Medium risk | 1 |
| Envelope complexity | Medium risk | 1 |
| Deck design | Low risk | 0 |
| Total Risk Score: | | 3 |

NZBC H1 Calculations

| | | | | |
|----------------------------|----------------------|---|-------------|-------|
| Insulated Floor Plan Area: | 204 | m² over frame (including interior wall of garage) | | |
| Total Floor Area | 157.7 | | | |
| Foundation Perimeter | 73.38 | | | |
| Calculated Areas | | Wall Length X | Stud Height | |
| North | Wall area: | 36.5 | 14.85 | 2.455 |
| | Window/Door area: | 15.56 | | |
| | Wall Open Percentage | 43% | | |
| East | Wall area: | 53.6 | 21.84 | 2.455 |
| | Window/ Door area: | 7.74 | | |
| | Wall Open Percentage | 14% | | |
| South | Wall area: | 36.5 | 14.85 | 2.455 |
| | Window/Door area: | 8.17 | | |
| | Wall Open Percentage | 22% | | |
| West | Wall area: | 53.6 | 21.84 | 2.455 |
| | Window/Door area: | 19.01 | | |
| | Wall Open Percentage | 35% | | |

| | | | |
|--|----------------------------------|------------------------------|--|
| Total | ESW Wall Area | 143.7 | |
| | Entire Building Wall area: | 180.1 | |
| | Entire Buiding Window/Door area: | 50.48 | |
| | ESW Window/Door Area: | 34.92 | |
| | Percent window area: | 28.0% | |
| | ESW Percent window area | 24.3% | |
| Is the window area of the walls less than 30%? | | Yes <input type="checkbox"/> | (Schedule method is ok to use - |
| | | No <input type="checkbox"/> | (Calculation method must be used - see attached reference and proposed heat loss calculations) |



| BUILDING ENVELOPE RISK MATRIX | | |
|-------------------------------|----------------|------------|
| West Elevation | | |
| Risk Factor | Risk Severity | Risk Score |
| Wind zone (per NZS 3604) | High risk | 1 |
| Number of storeys | Low risk | 0 |
| Roof/wall intersection design | Low risk | 0 |
| Eaves width | Very high risk | 5 |
| Envelope complexity | Medium risk | 1 |
| Deck design | Low risk | 0 |
| Total Risk Score: | | 7 |

West Elevation

SCALE 1:100 @A3

Glazing and glazed openings to comply with NZS 4223.3:2016 Glazing in buildings - Part 3: Human impact safety requirements, NZS 4211:2008: Specification for preformance of windows and New Zealand Building Code Clauses: F2 Hazardous Building Materials & F4: Safety from Falling.

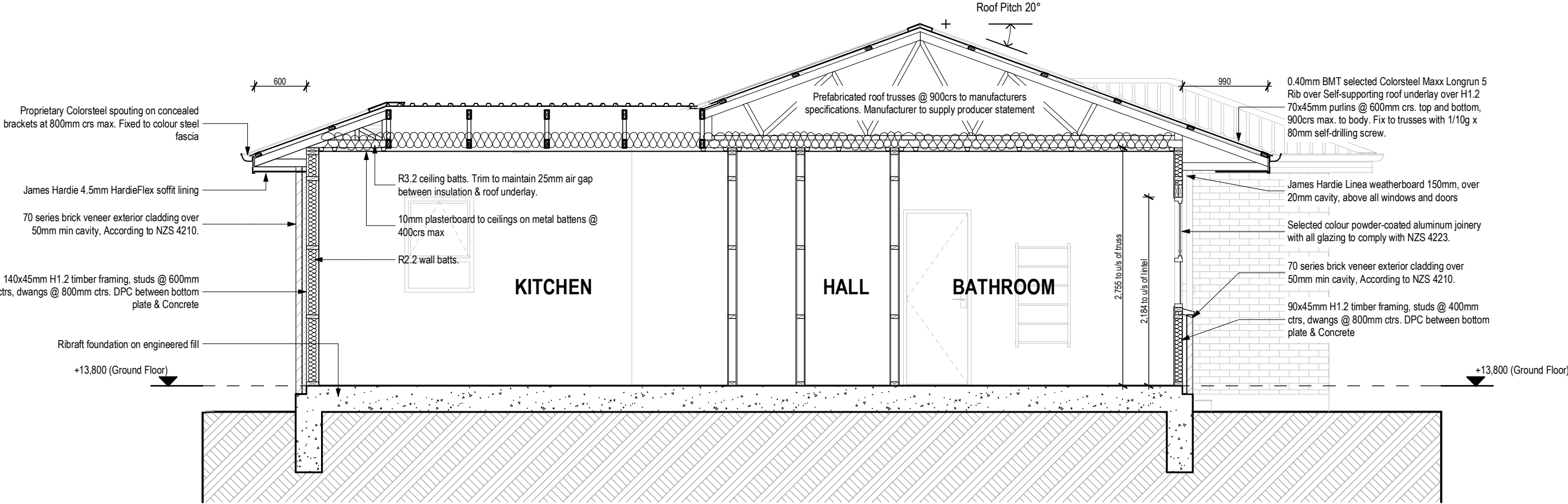
NOTE: Site located in sea-spray zone, all structural fixings to be type 304 stainless steel

NOTE: THE SCHEDULE OF FIXTURES AND FITTINGS TAKES PRECEDENCE OVER THESE DRAWINGS

| | | | | | | | | | |
|---|--------------------------------|-------------------------------------|--|--|---|--|------------|-----------------------------------|------------------------|
|  © Mike Greer Homes NZ Ltd PHONE: (03) 354 0166 I FAX: (03) 354 0167 ADDRESS: Tower 2, 7 Deans Avenue, Addington, Christchurch 8011 WEB: www.mikagreerhomes.co.nz | JOB TITLE: SHANKLAND | DRAWING TITLE: Elevations | LEGAL DESCRIPTION: LOT: 90 DP: tbc KAHAWAI POINT, GLENBROOK, AUCKLAND | NOTES: - Subject to council approval - All measurements to be confirmed on site by the contractor prior to the commencement of work © 2017 Mike Greer Homes NZ Limited. All rights reserved. No part of this work covered by copyright may be reproduced or copied in any form or by any means without the written permission of Mike Greer Homes NZ Limited | DATE OF ISSUE: 19/01/2018 AMENDMENT DATE: 23/03/2018 | DESIGNER: GQ TECHNICIAN: CM VERSION: V3 | CODE: 2 | SCALE: 1:100 JOB # SA243 | SHEET: A3.02 |
|---|--------------------------------|-------------------------------------|--|--|---|--|------------|-----------------------------------|------------------------|



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Section A
SCALE 1:50 @A3

Auckland Council

To Kaitiaki o Tāmaki Aotearoa

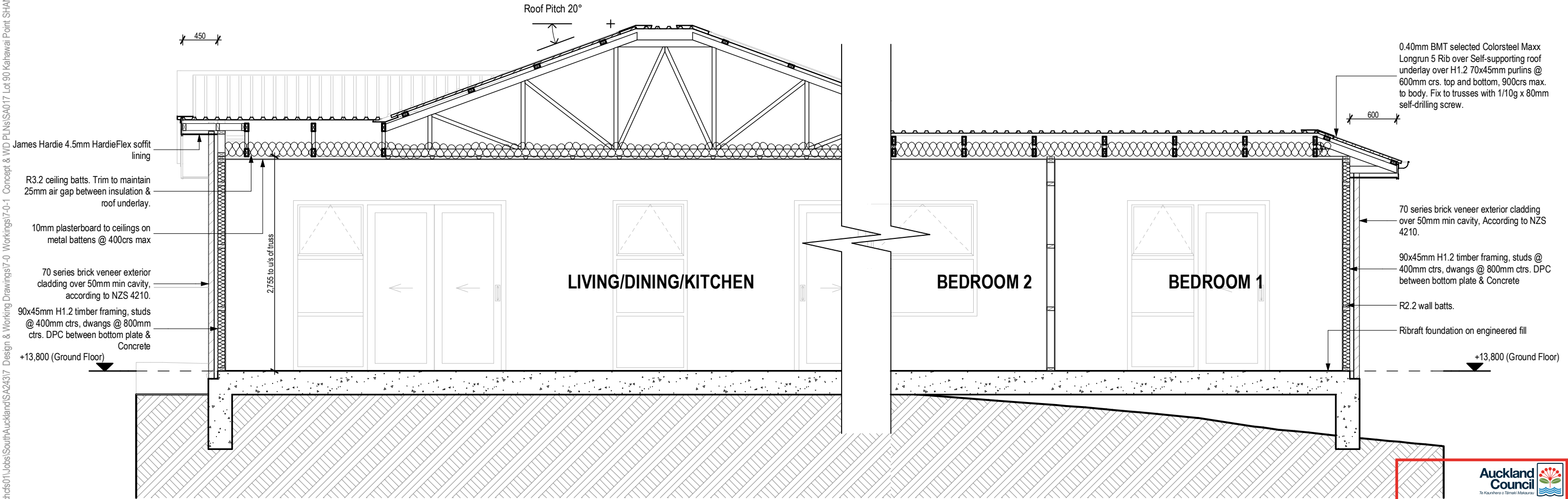
24/08/2018
BCO10269221
APPROVED
BUILDING CONSENT PLANS

NOTE: Site located in sea-spray zone, all structural fixings to be type 304 stainless steel

NOTE: THE SCHEDULE OF FIXTURES AND FITTINGS TAKES PRECEDENCE OVER THESE DRAWINGS

| | | | | | | | | | |
|--|------------------------------------|--|--|--|-----------------|-------------|--------|----------------------------|--|
| <div></div> <div>© Mike Greer Homes NZ Ltd</div> <div>PHONE: (03) 354 0166 FAX: (03) 354 0167</div> <div>ADDRESS: Tower 2, 7 Deans Avenue, Addington, Christchurch 8011</div> <div>WEB: www.mikagreerhomes.co.nz</div> | JOB TITLE: SHANKLAND | DRAWING TITLE: Cross Section | LEGAL DESCRIPTION: LOT: 90 DP: tbc KAHAWAI POINT, GLENBROOK, AUCKLAND | NOTES: - Subject to council approval - All measurements to be confirmed on site by the contractor prior to the commencement of work © 2017 Mike Greer Homes NZ Limited. All rights reserved. No part of this work covered by copyright may be reproduced or copied in any form or by any means without the written permission of Mike Greer Homes NZ Limited | DATE OF ISSUE: | DESIGNER: | SCALE: | SHEET: A4.01 | |
| | | | | | 19/01/2018 | GQ | 1:50 | | |
| | | | | | AMENDMENT DATE: | TECHNICIAN: | JOB # | | |
| | | | | | 23/03/2018 | CM | SA243 | | |
| | | | | | | VERSION: | CODE: | | |
| | | | | | | V3 | 2 | | |

\\mghcds01\Jobs\SouthAuckland\SA243\7 Design & Working Drawings\7-0 Workings\7-0-1 Concept & WD PLNs\SA017 Lot 90 Kahawai Point SHANKLAND V3 - WD.pln 23/05/2018 cmackie



Section B
SCALE 1:50 @A3

Auckland Council
Te Kaunhara o Tāmaki Akeaurua

24/08/2018
BCO10269221

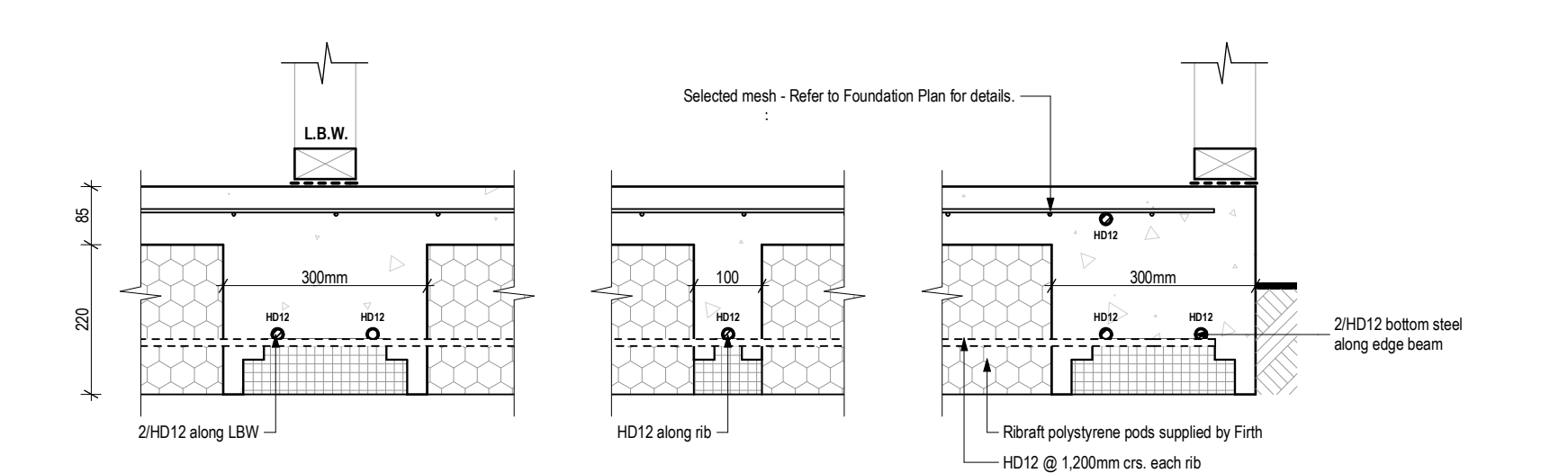
APPROVED
BUILDING CONSENT PLANS

NOTE: Site located in sea-spray zone, all structural fixings to be type 304 stainless steel

NOTE: THE SCHEDULE OF FIXTURES AND FITTINGS TAKES PRECEDENCE OVER THESE DRAWINGS

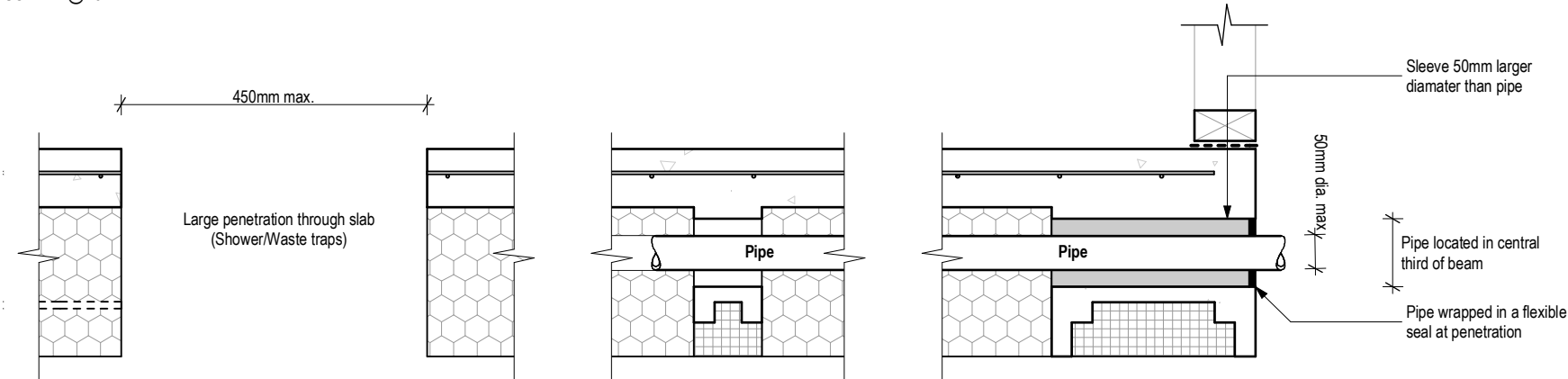
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|---|------------------------------------|---|--|--|-------------------------------|-------------------|----------------|----------------------------|
| <div><p>© Mike Greer Homes NZ Ltd</p><p>PHONE: (03) 354 0166 FAX: (03) 354 0167</p><p>ADDRESS: Tower 2, 7 Deans Avenue, Addington, Christchurch 8011</p><p>WEB: www.mikgreerhomes.co.nz</p></div> | JOB TITLE: SHANKLAND | DRAWING TITLE: Longitudinal Section | LEGAL DESCRIPTION: LOT: 90 DP: tbc KAHAWAI POINT, GLENBROOK, AUCKLAND | NOTES: - Subject to council approval - All measurements to be confirmed on site by the contractor prior to the commencement of work © 2017 Mike Greer Homes NZ Limited. All rights reserved. No part of this work covered by copyright may be reproduced or copied in any form or by any means without the written permission of Mike Greer Homes NZ Limited | DATE OF ISSUE: 19/01/2018 | DESIGNER: GQ | SCALE: 1:50 | SHEET: A4.02 |
| | | | | | AMENDMENT DATE: 23/03/2018 | TECHNICIAN: CM | JOB # SA243 | |
| | | | | | | | VERSION: V3 | |

\\mghchds01\Jobs\SouthAuckland\SA24317 Design & Working Drawings\7-0 Workings\7-0-1 Concept & WD PLNs\SA017 Lot 90 Kahawai Point SHANKLAND V3 - WD.pln 23/05/2018 cmackie



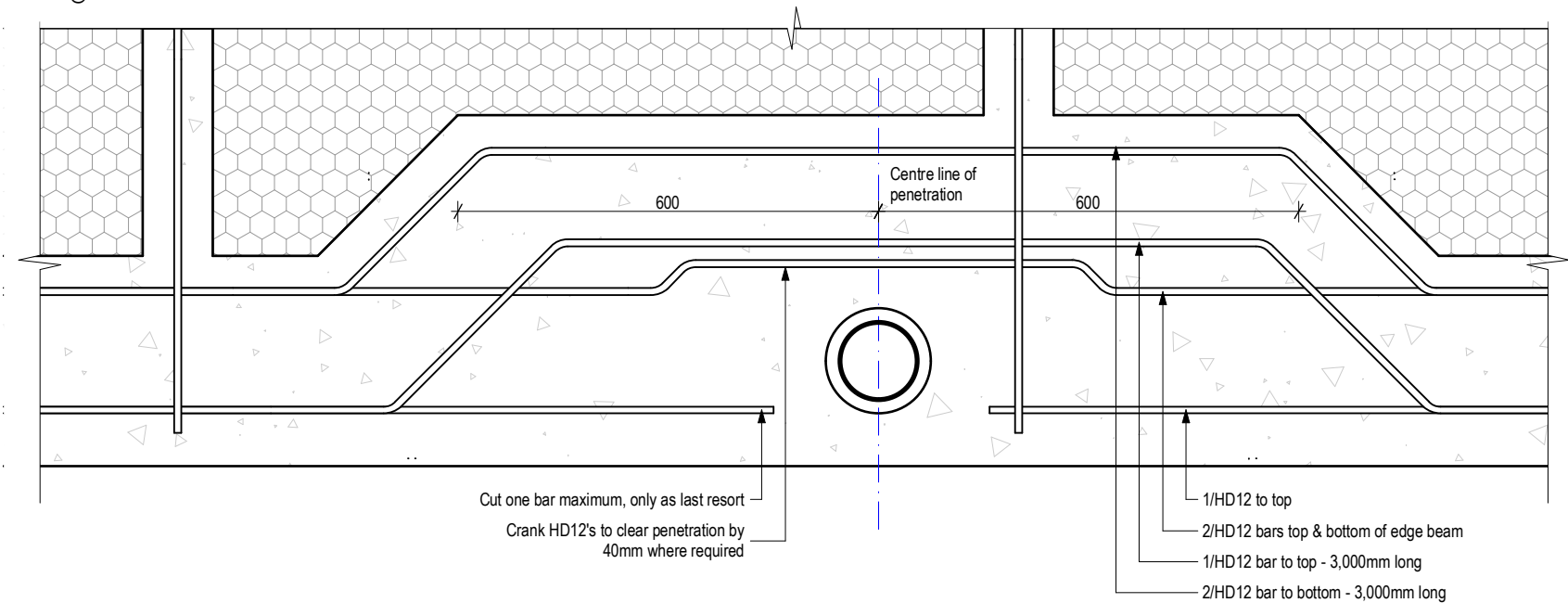
RibRaft Beams

SCALE @A3



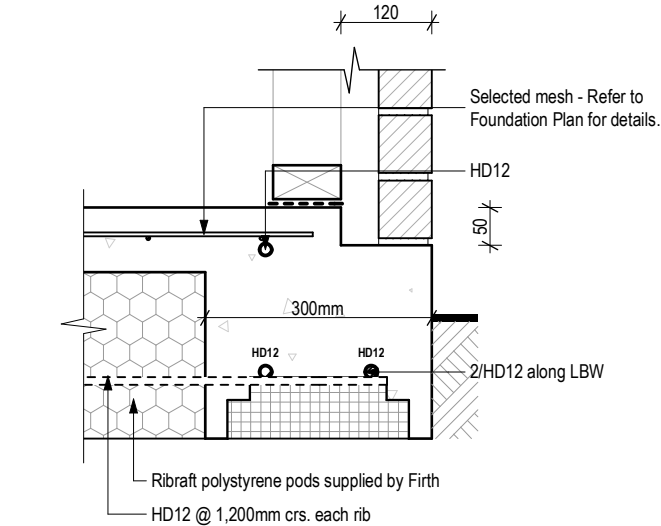
Pipe Penetration Through Slab and Edge beam

SCALE @A3



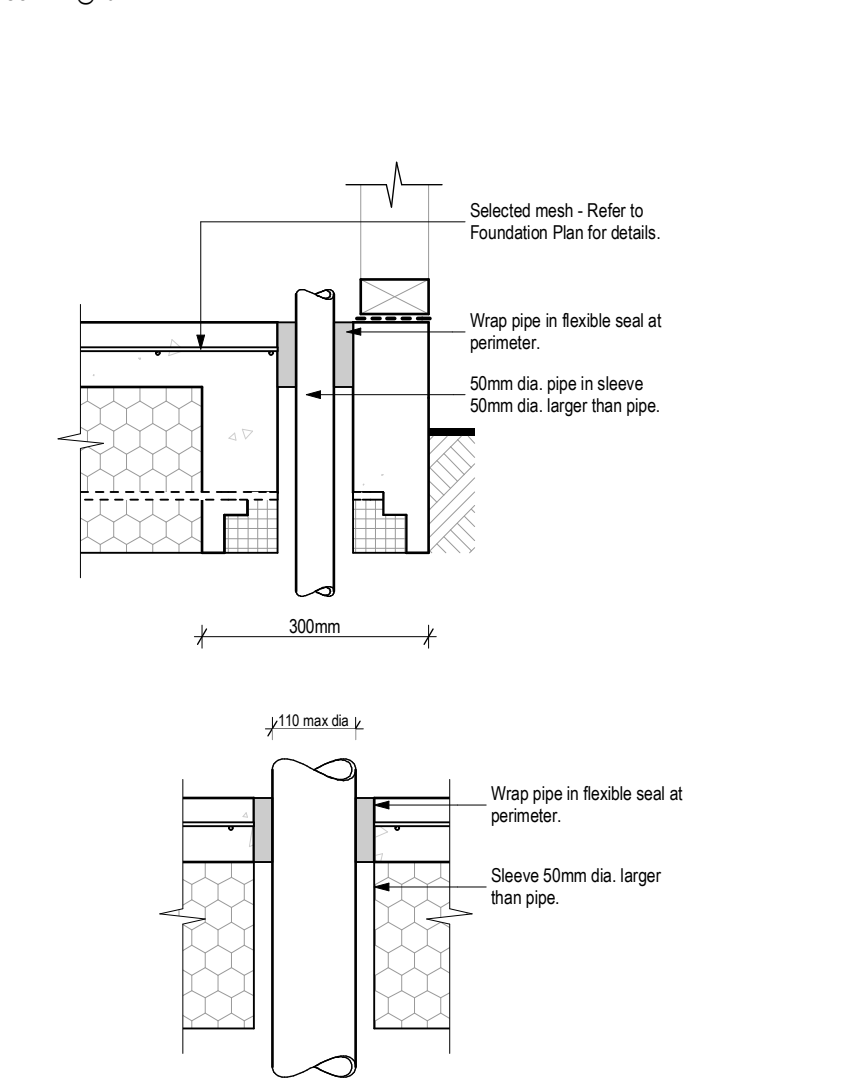
Vertical Pipe Penetration Through Edge Beam

SCALE @A3



Brick Rebate

SCALE @A3




Pipe Penetration Through Slab and Edge beam

SCALE @A3

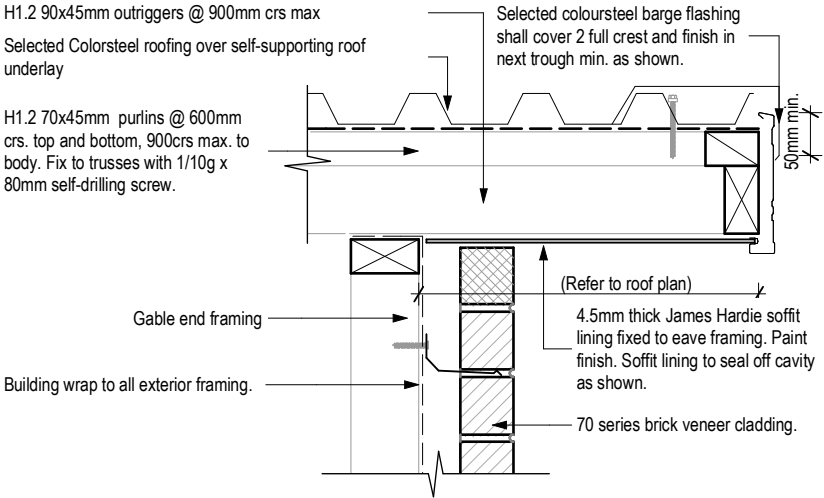
NOTE: Site located in sea-spray zone, all structural fixings to be type 304 stainless steel

NOTE: THE SCHEDULE OF FIXTURES AND FITTINGS TAKES PRECEDENCE OVER THESE DRAWINGS

| | | | | | | | | |
|---|---|---|--|---|--|---|---|-----------------------------------|
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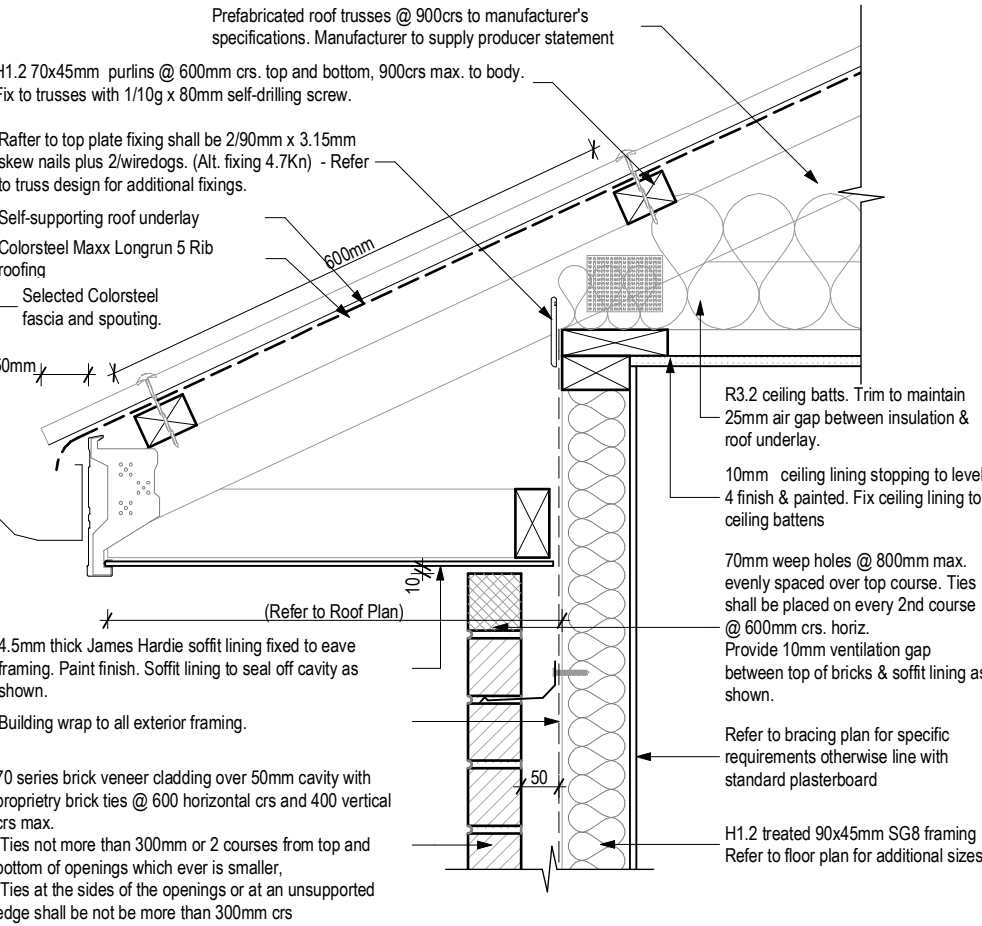


\\mghchdc01\Jobs\SouthAuckland\SA243\7 Design & Working Drawings\7-0-1 Concept & WD PLNs\SA017 Lot 90 Kahawai Point SHANKLAND V3 - WD.pln 23/05/2018 cmackie



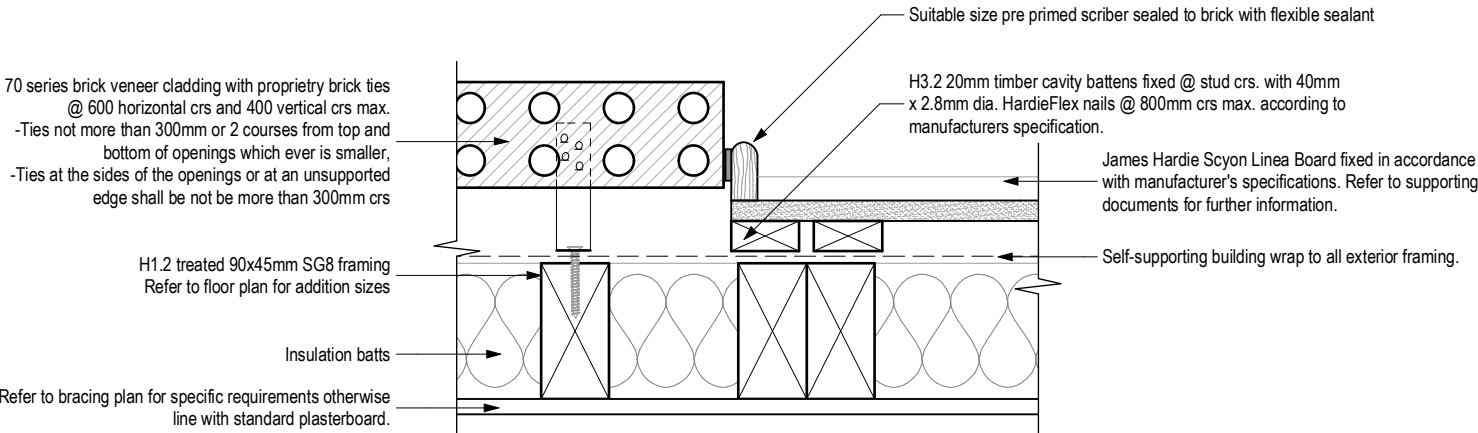
70 Series Brick - Barge

SCALE 1:10 @A3



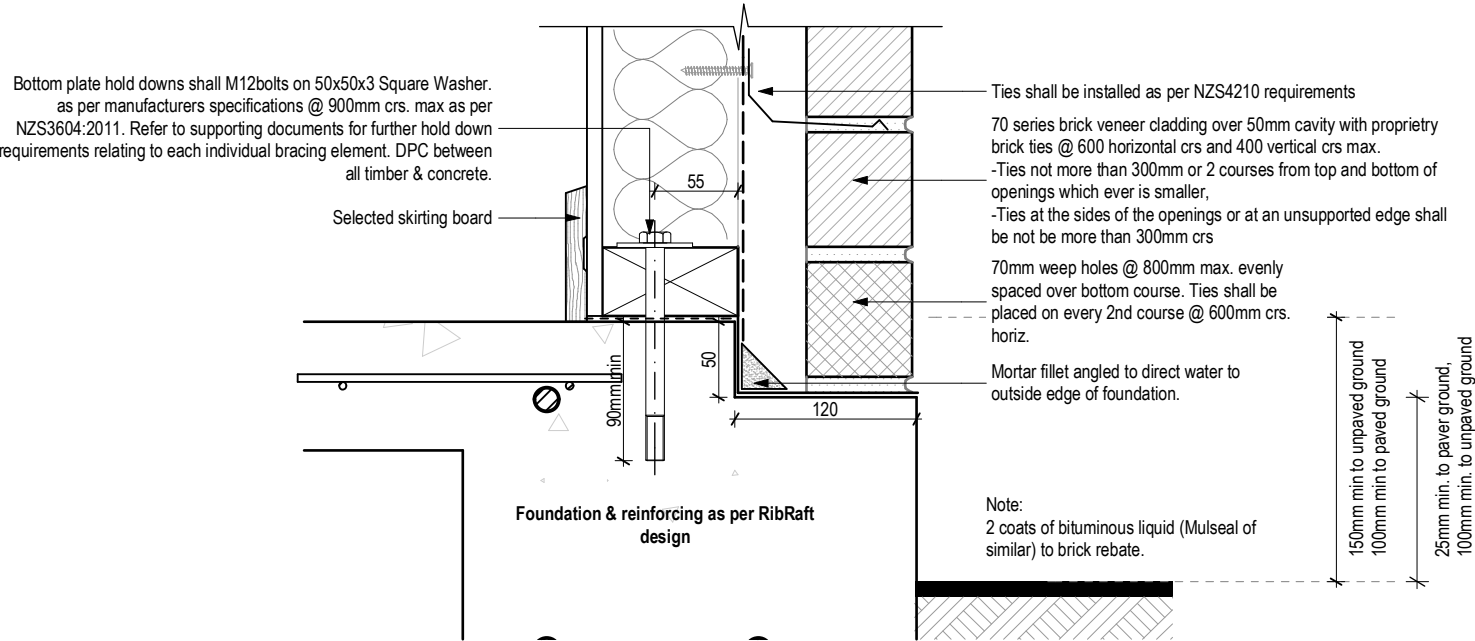
70 Series Brick - Typical Soffit Detail

SCALE 1:10 @A3



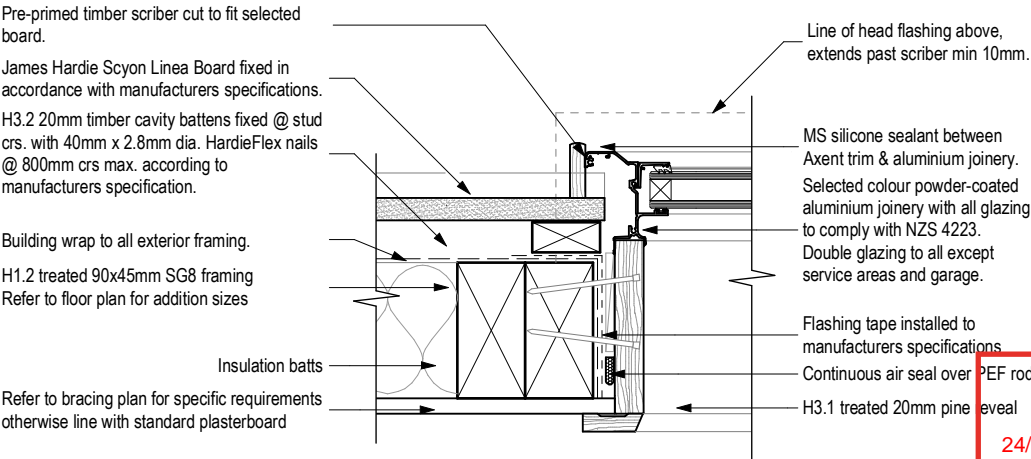
70 Series Brick - Cladding Junction (Linea Weatherboard)

SCALE 1:5 @A3



70 Series Brick - Foundation

SCALE 1:5 @A3



Linea Weatherboards - Window Jamb Detail

SCALE 1:5 @A3

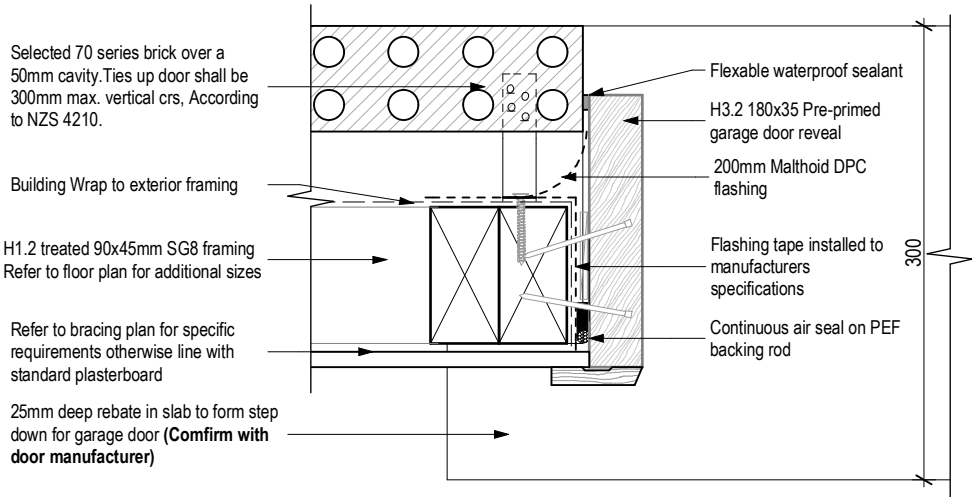
NOTE: Site located in sea-spray zone, all structural fixings to be type 304 stainless steel

NOTE: THE SCHEDULE OF FIXTURES AND FITTINGS TAKES PRECEDENCE OVER THESE DRAWINGS

| | | | | | | | | |
|---|--------------------------------|----------------------------------|---|--|-----------------|-------------|-----------|------------------------|
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| | | | | | 19/01/2018 | GQ | 1:10, 1:5 | |
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| | | | | | | VERSION: | CODE: | |
| | | | | | | V3 | 2 | |

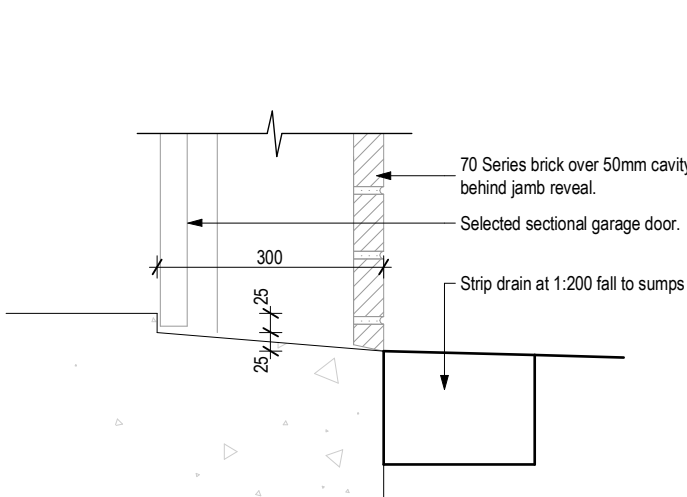


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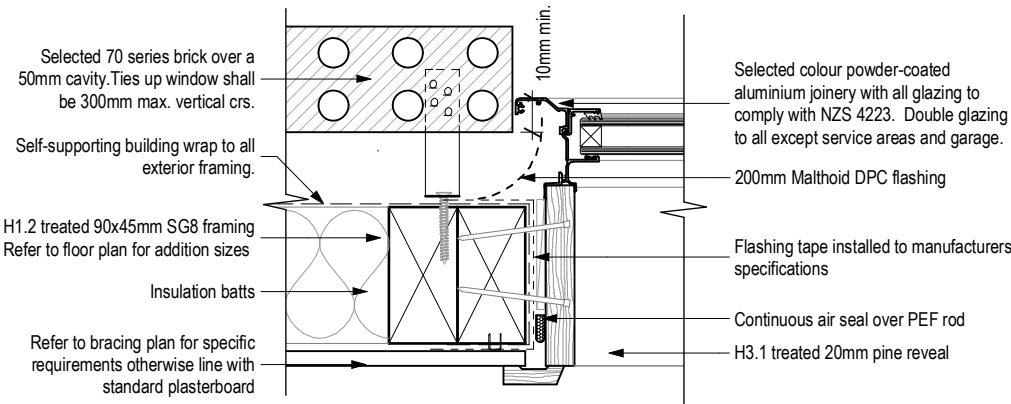
70 Series Brick - Garage Door Jamb

SCALE 1:5 @A3



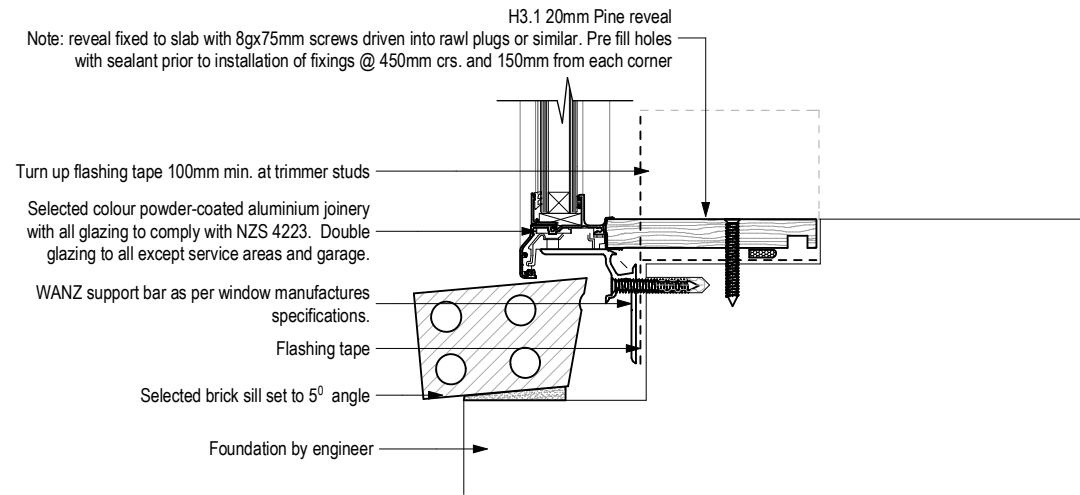
70 Series Brick - Garage Door Rebate

SCALE 1:10 @A3



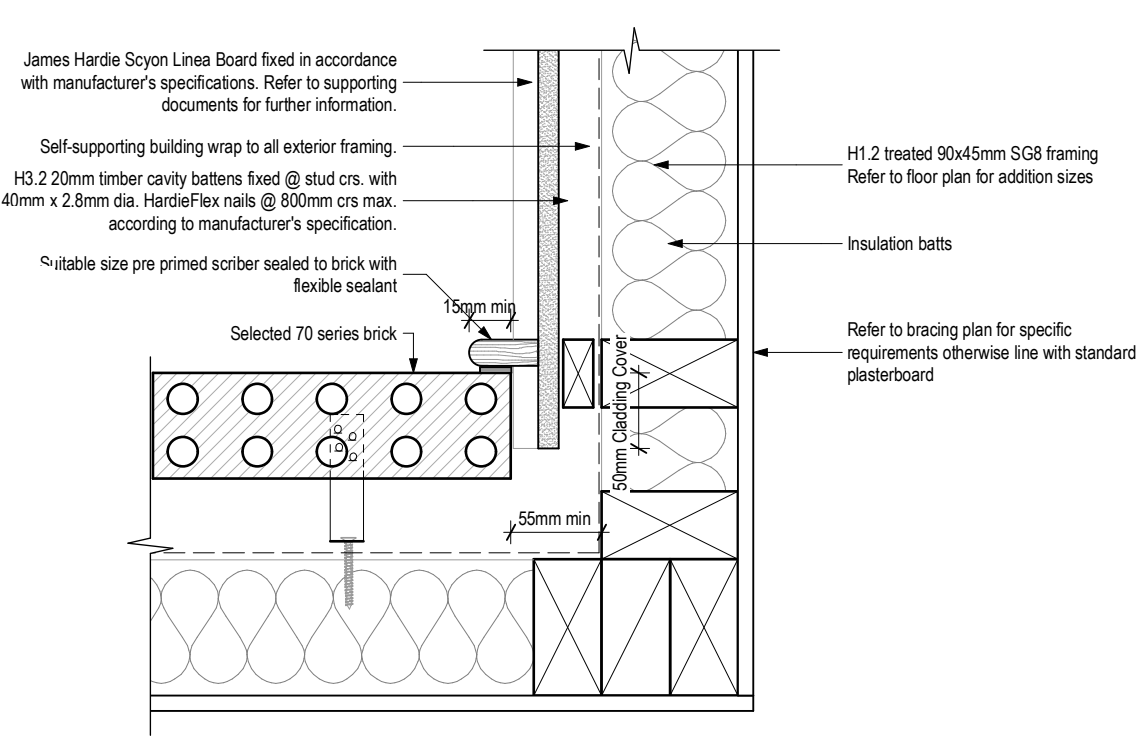
70 Series Brick - Window Jamb Detail

SCALE 1:5 @A3



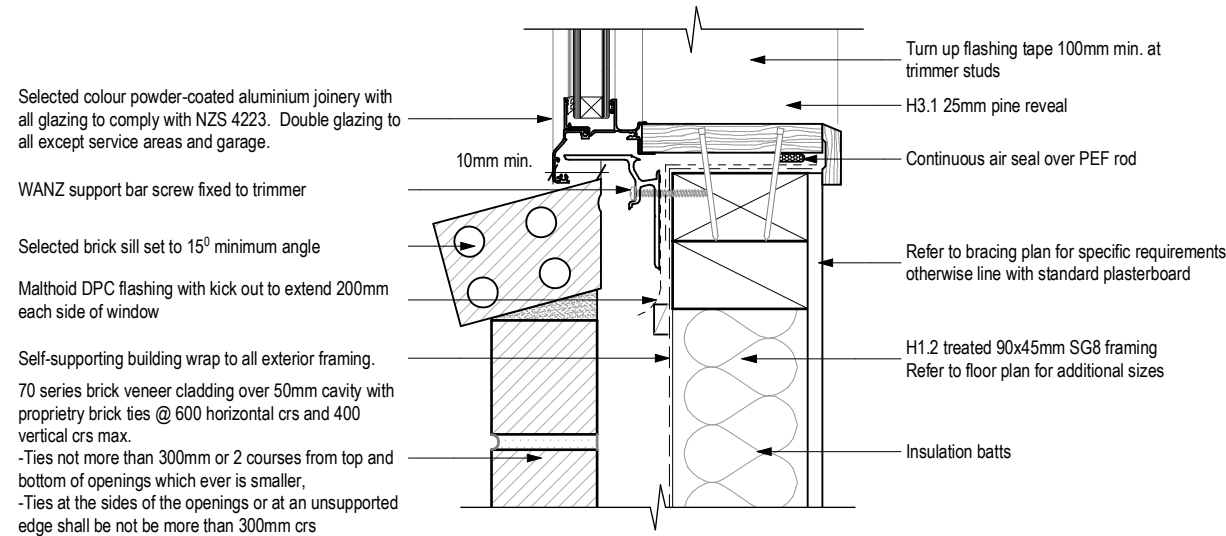
70 Series Brick - Typical Sill

SCALE 1:5 @A3



70 Series Brick - Cladding Junction (Linea Weatherboard)

SCALE 1:5 @A3



70 Series Brick - Window Sill Detail

SCALE 1:5 @A3



24/08/2018

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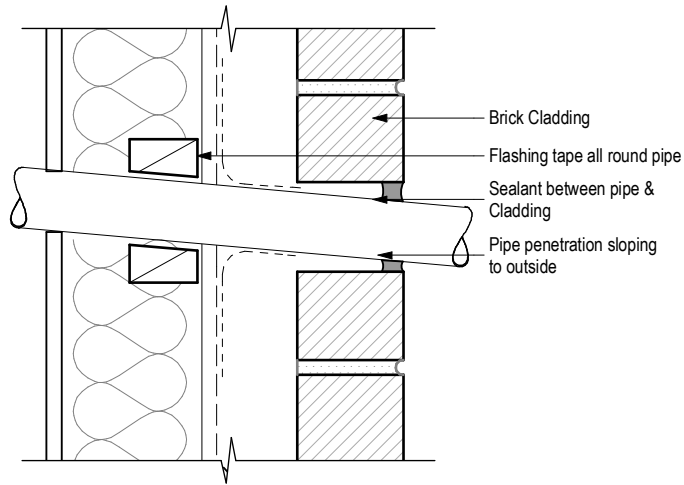
BUILDING CONSENT PLANS

NOTE: Site located in sea-spray zone, all structural fixings to be type 304 stainless steel

NOTE: THE SCHEDULE OF FIXTURES AND FITTINGS TAKES PRECEDENCE OVER THESE DRAWINGS

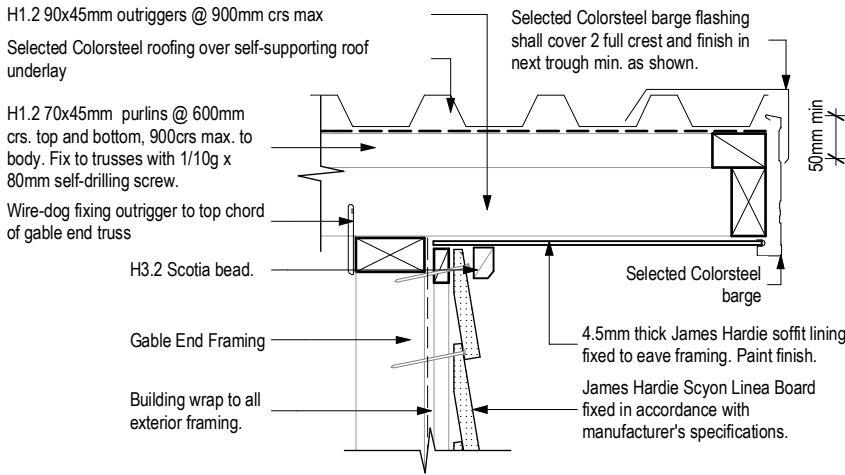
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|---|--------------------------------|----------------------------------|--|--|---|--|---------------------------------------|------------------------|
| © Mike Greer Homes NZ Ltd PHONE: (03) 354 0166 FAX: (03) 354 0167 ADDRESS: Tower 2, 7 Deans Avenue, Addington, Christchurch 8011 WEB: www.mikegreerhomes.co.nz | JOB TITLE: SHANKLAND | DRAWING TITLE: Details | LEGAL DESCRIPTION: LOT: 90 DP: tbc KAHAWAI POINT, GLENBROOK, AUCKLAND | NOTES: - Subject to council approval - All measurements to be confirmed on site by the contractor prior to the commencement of work © 2017 Mike Greer Homes NZ Limited. All rights reserved. No part of this work covered by copyright may be reproduced or copied in any form or by any means without the written permission of Mike Greer Homes NZ Limited | DATE OF ISSUE: 19/01/2018 AMENDMENT DATE: 23/03/2018 | DESIGNER: GQ TECHNICIAN: CM VERSION: V3 CODE: 2 | SCALE: 1:5, 1:10 JOB # SA243 | SHEET: A5.03 |
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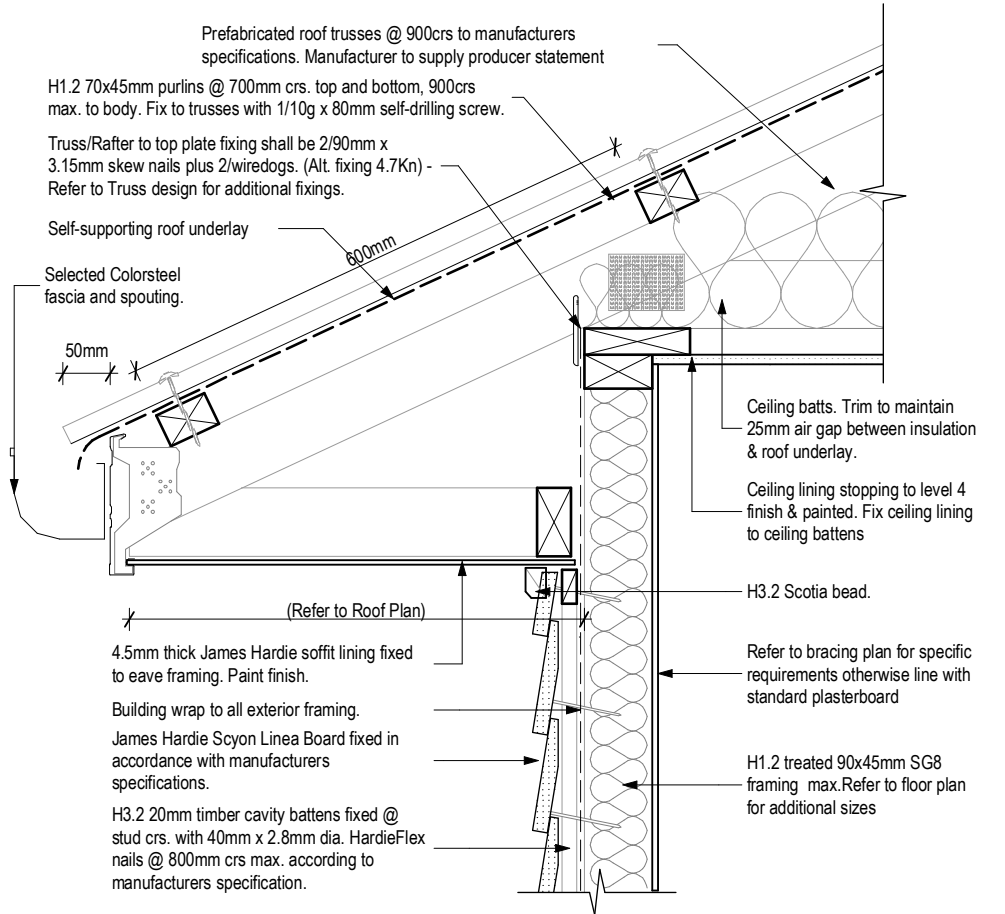
70 Series Brick - Pipe Penetration

SCALE 1:5 @A3



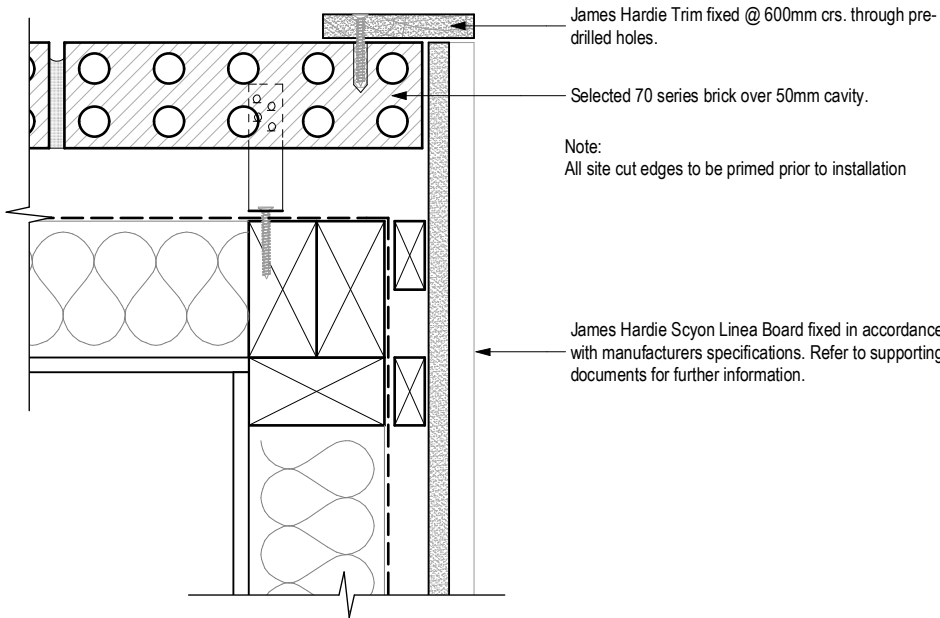
Linea Weatherboards - Barge

SCALE 1:10 @A3



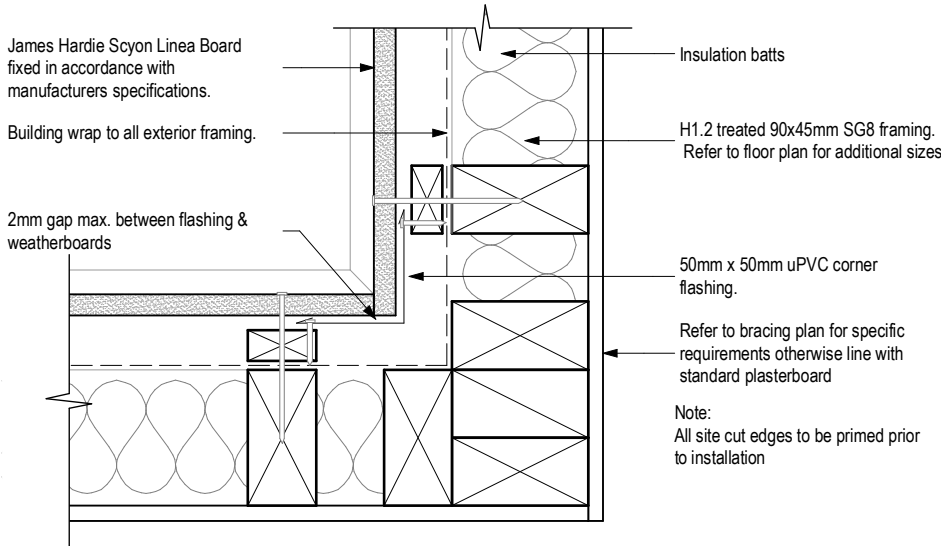
Linea Weatherboards - Typical Soffit

SCALE 1:10 @A3



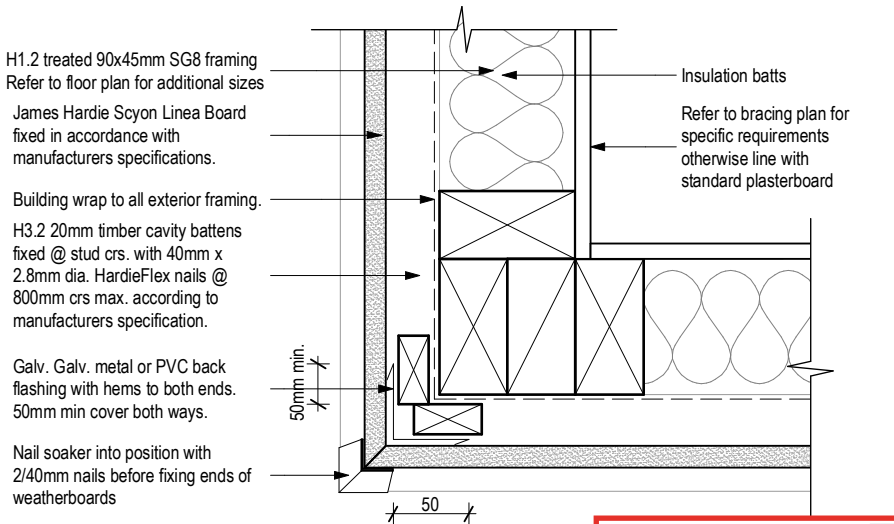
70 Series Brick - Cladding Junction (Linea Weatherboard)

SCALE 1:5 @A3



Linea Weatherboards - Internal Corner

SCALE 1:5 @A3



Linea Weatherboards - External Corner (Soaker)

SCALE 1:5 @A3

NOTE: Site located in sea-spray zone, all structural fixings to be type 304 stainless steel

NOTE: THE SCHEDULE OF FIXTURES AND FITTINGS TAKES PRECEDENCE OVER THESE DRAWINGS

| | | | | | | | | |
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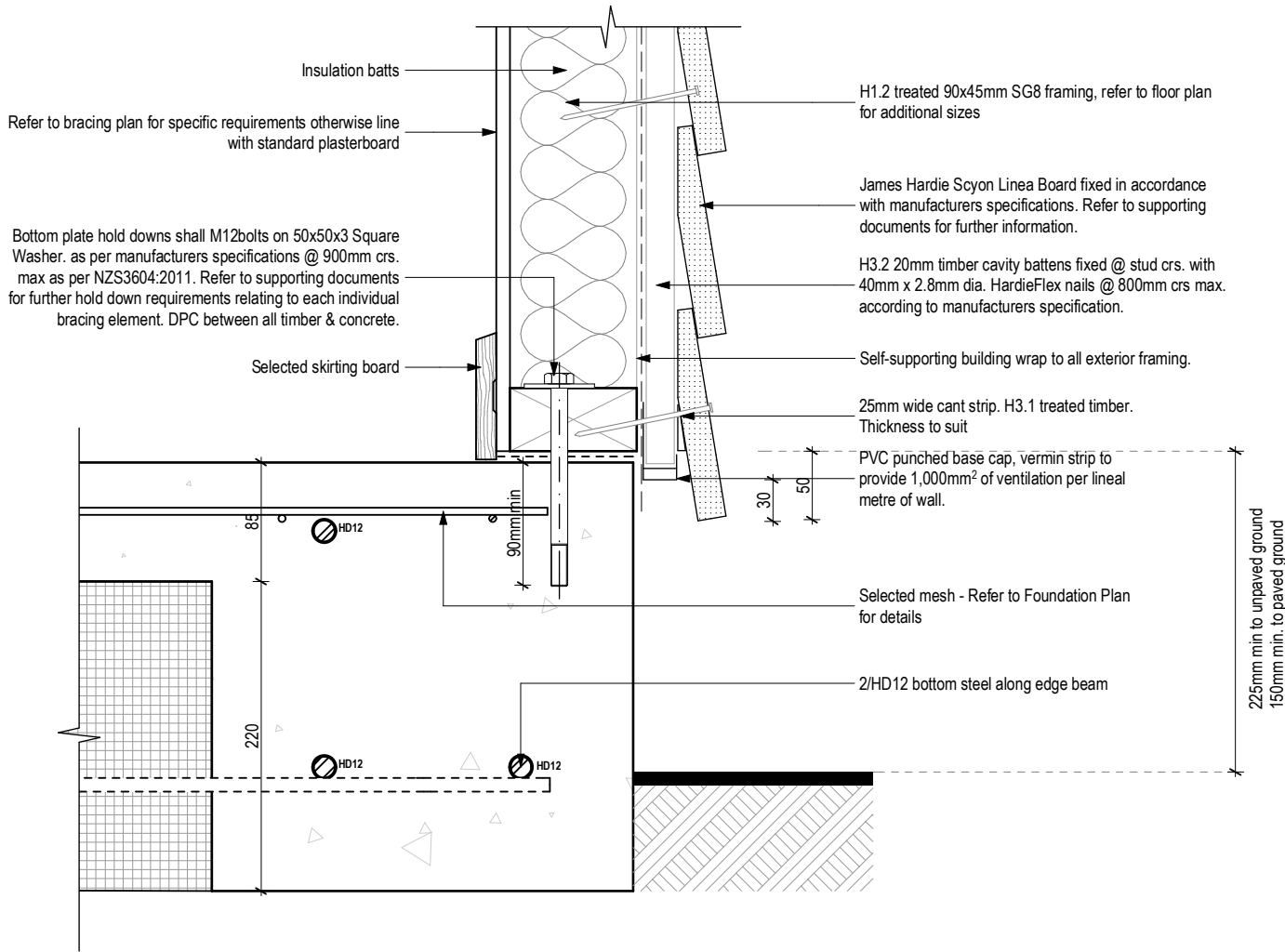
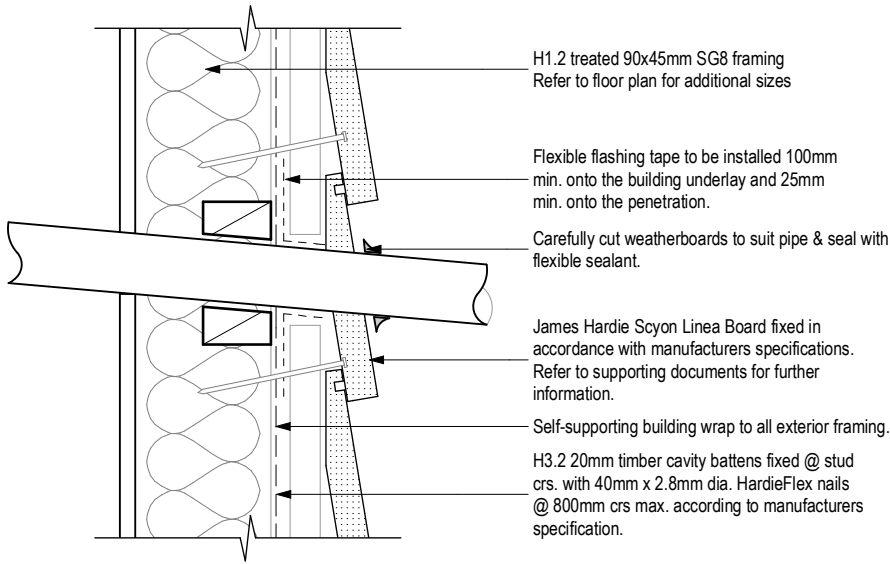
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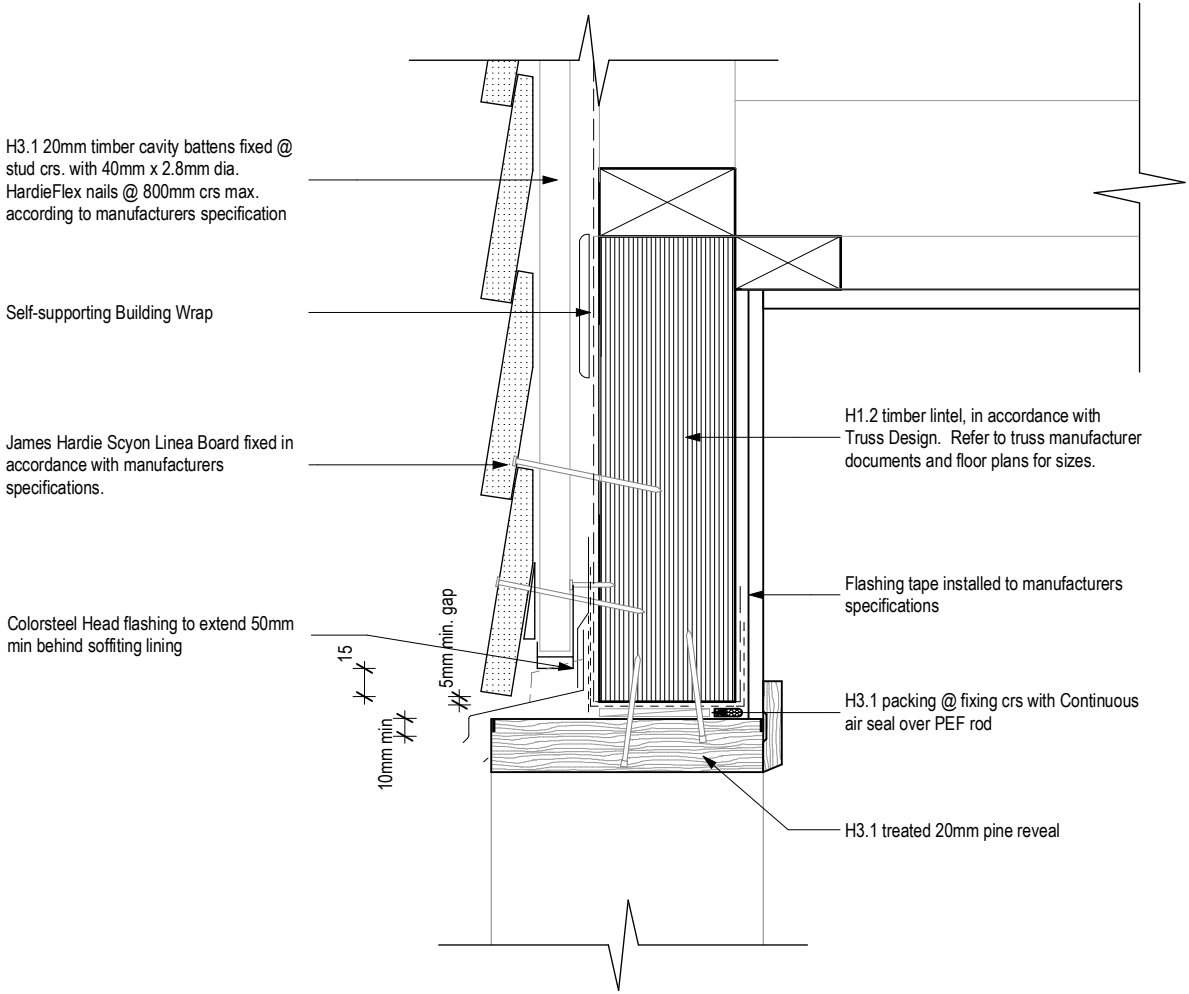
Linea Weatherboards - Pipe Penetration

SCALE 1:5 @A3



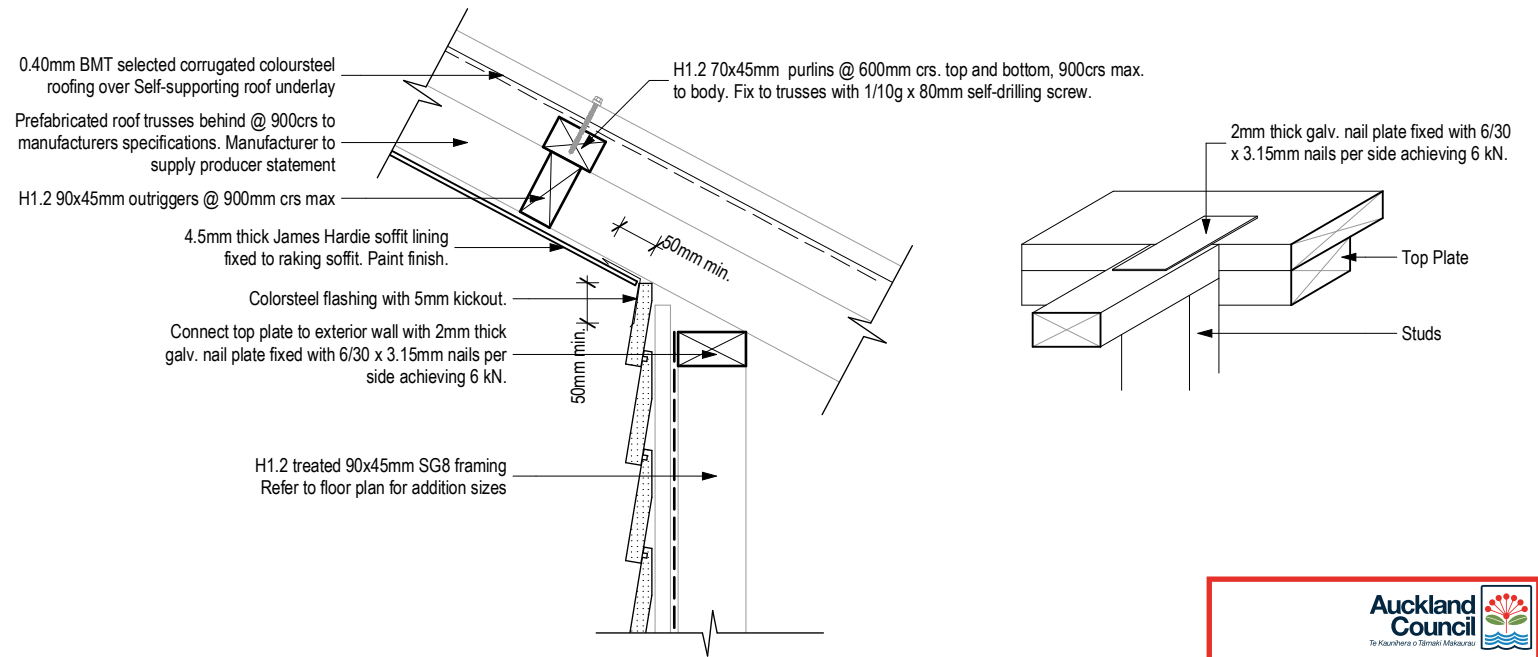
Linea Weatherboards - Foundation

SCALE 1:5 @A3



Linea Weatherboards - Garage Door Head

SCALE 1:5 @A3



Linea Weatherboards - Raking Soffit

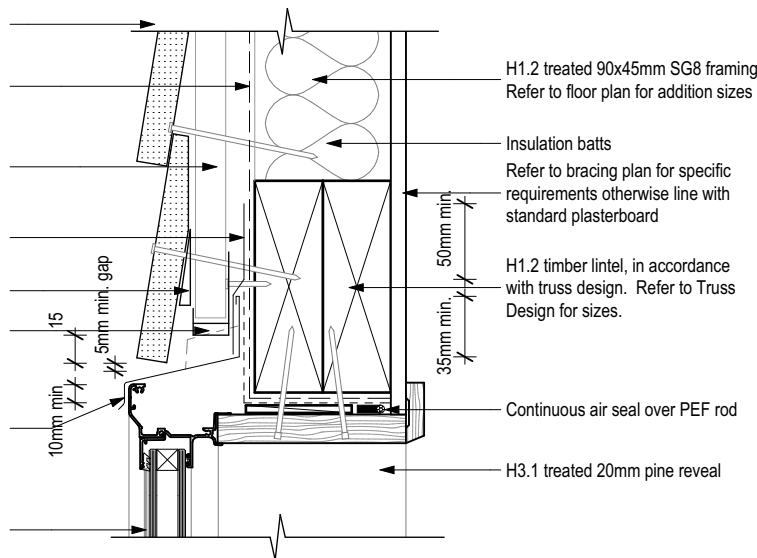
SCALE 1:10 @A3

NOTE: Site located in sea-spray zone, all structural fixings to be type 304 stainless steel

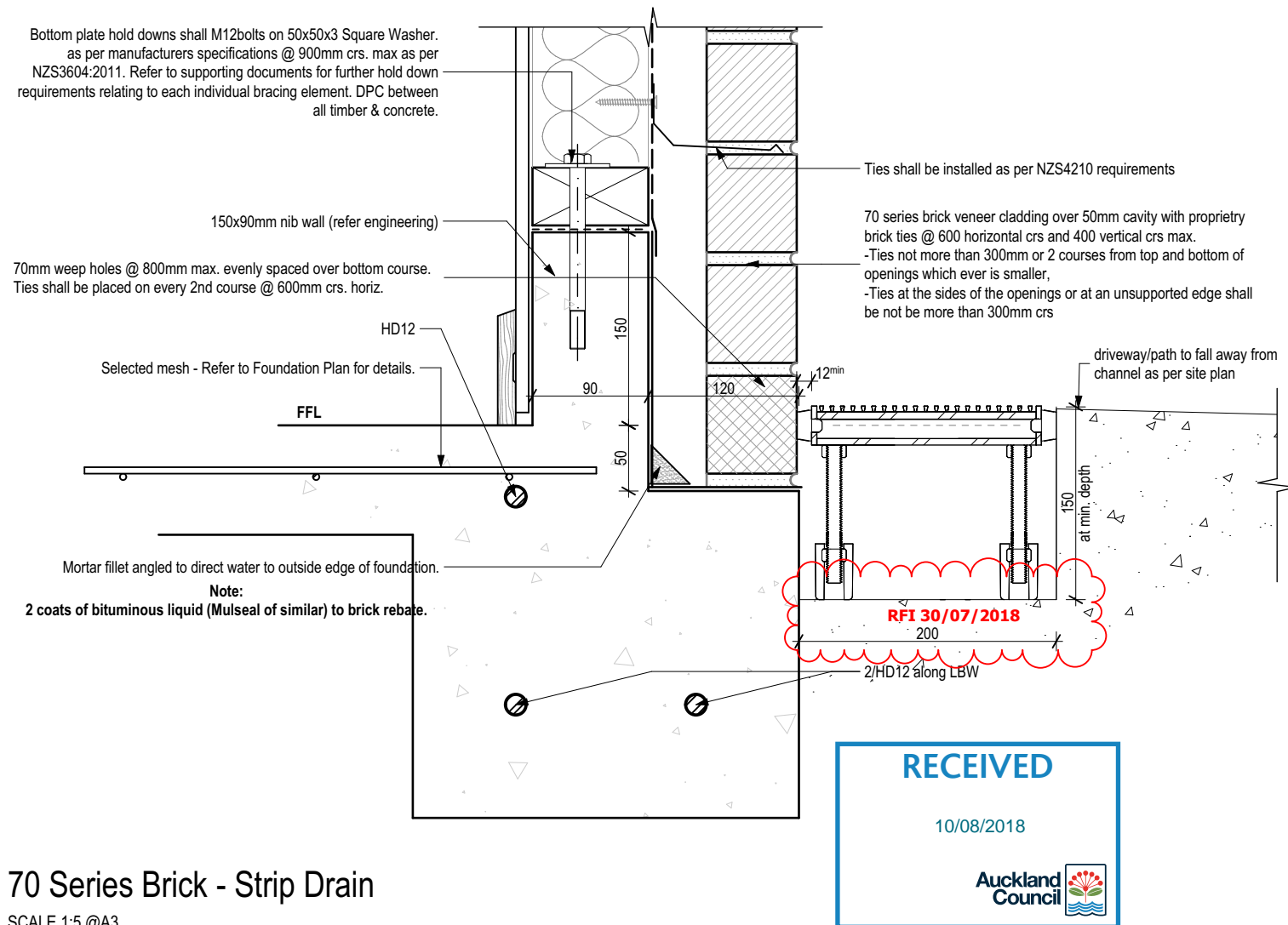
NOTE: THE SCHEDULE OF FIXTURES AND FITTINGS TAKES PRECEDENCE OVER THESE DRAWINGS

| | | | | | | | | |
|---|--------------------------------|----------------------------------|--|--|-------------------------------|-------------------|---------------------|------------------------|
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| | | | | | AMENDMENT DATE: 23/03/2018 | TECHNICIAN: CM | JOB # SA243 | |

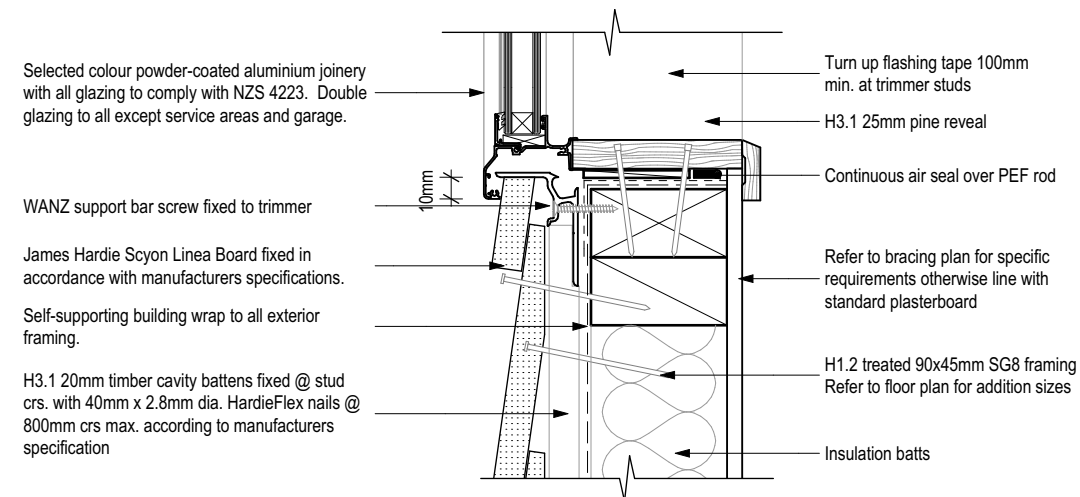
Selected colour powder-coated aluminium joinery with all glazing to comply with NZS 4223. Double glazing to all except service areas and garage.



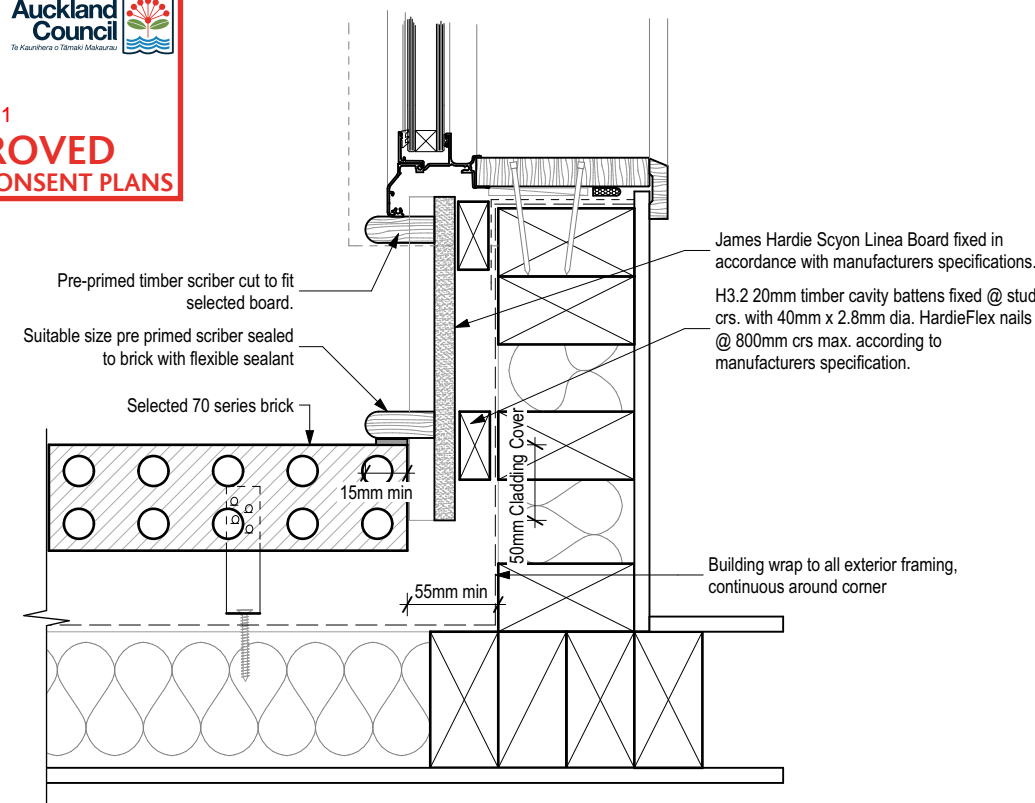
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SCALE 1:5 @A3




SCALE 1:5 @A3



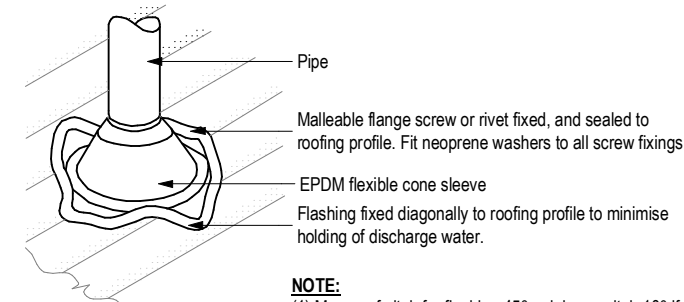
SCALE 1:5 @A3

NOTE: Site located in sea-spray zone, all structural fixings to be type 304 stainless steel

NOTE: THE SCHEDULE OF FIXTURES AND FITTINGS TAKES PRECEDENCE OVER THESE DRAWINGS

| | | | | | | | | |
|---|--|--|---|---|--|---|--|--|
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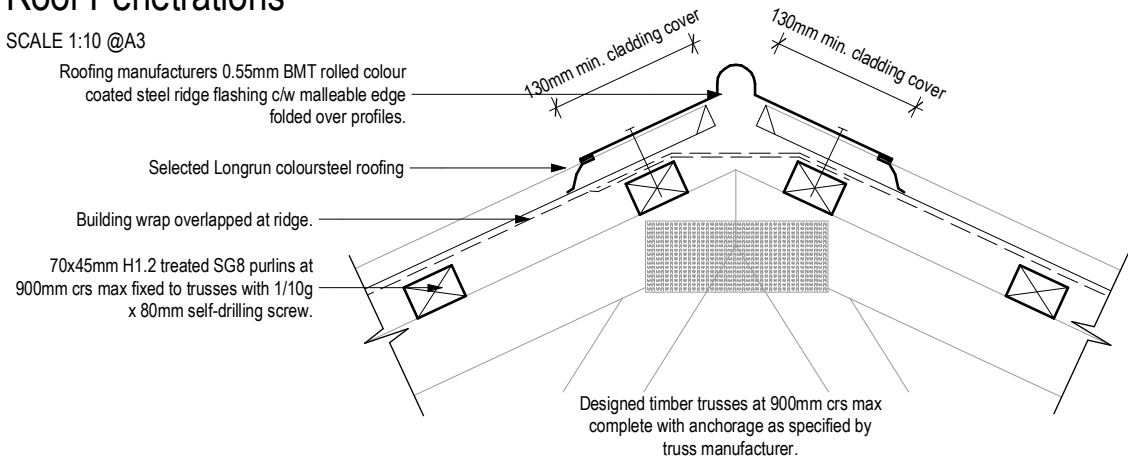
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NOTE:
(1) Max. roof pitch for flashing 45°, minimum pitch 10° if base of flange covers one or more complete troughs.
(2) For pipes up to 85mm dia.

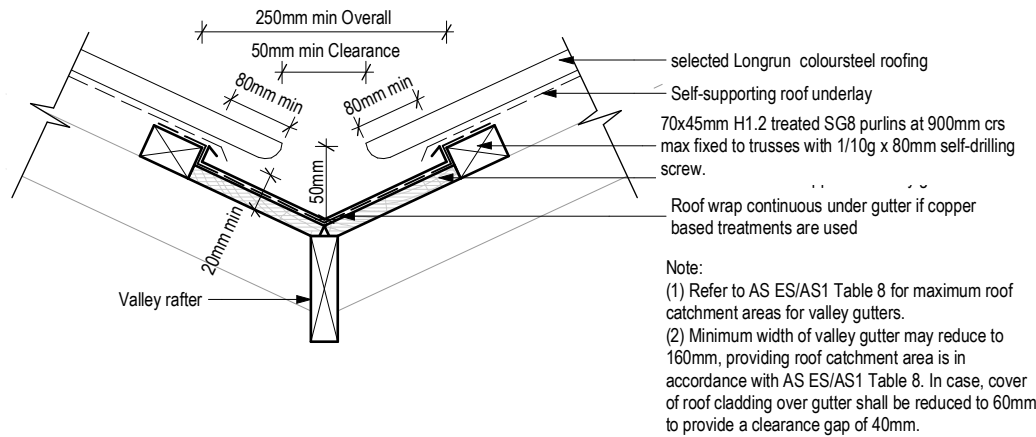
Roof Penetrations

SCALE 1:10 @A3



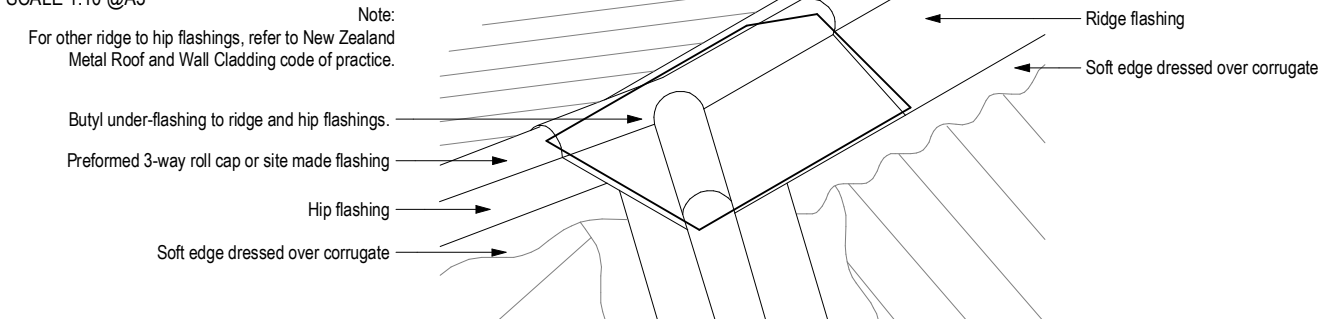
Ridge Capping Details

SCALE 1:10 @A3



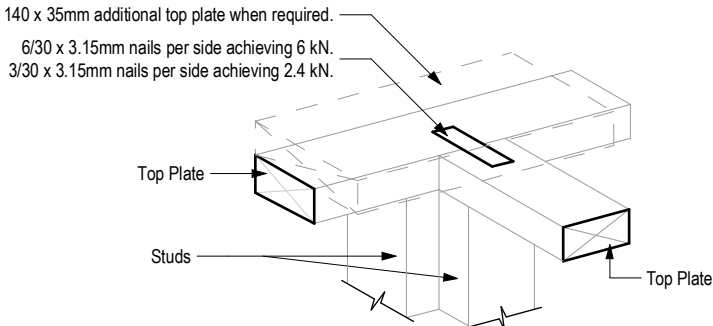
Valley Gutter

SCALE 1:10 @A3



Hip Junction

SCALE 1:10 @A3

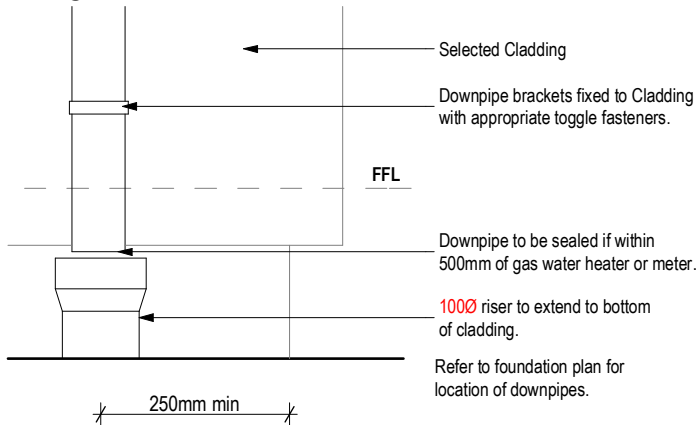


CONNECTING TOP PLATES TO EXTERNAL WALLS - WALLS CONTAINING BRACING

NOTE: Each wall that contains one or more wall bracing elements shall be connected at top plate level, either directly, or through framing member in the line of the wall, to external walls at right angles to it. Top plate fixing of the capacity in tension or compression along the line of the wall bracing element are given as below"
(a) For each wall containing bracing elements with a total of not more than 250 BUs, the fixing capacity shall be 6 kN.
(b) For each wall containing bracing elements with a total of more than 250 BUs, the fixing capacity shall be 2.4 kN.
Refer to NZS 3604:2011 clause 8.7.3.4

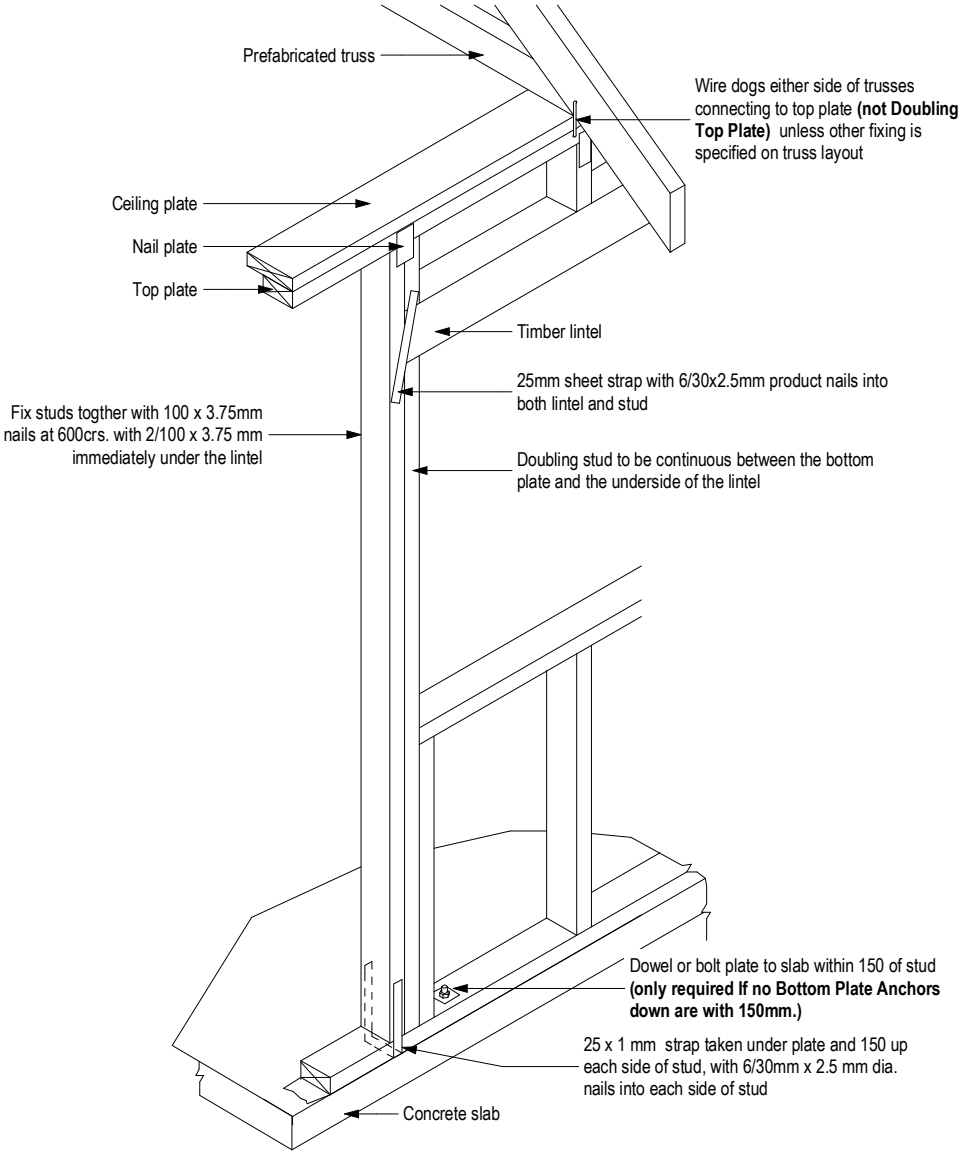
Top Plate Bracing

SCALE 1:10 @A3



Downpipe Corner Offset

SCALE 1:10 @A3



Typical Lintel Fixing

SCALE 1:20 @A3

Wire dogs either side of trusses connecting to top plate (**not Doubling Top Plate**) unless other fixing is specified on truss layout

24/08/2018
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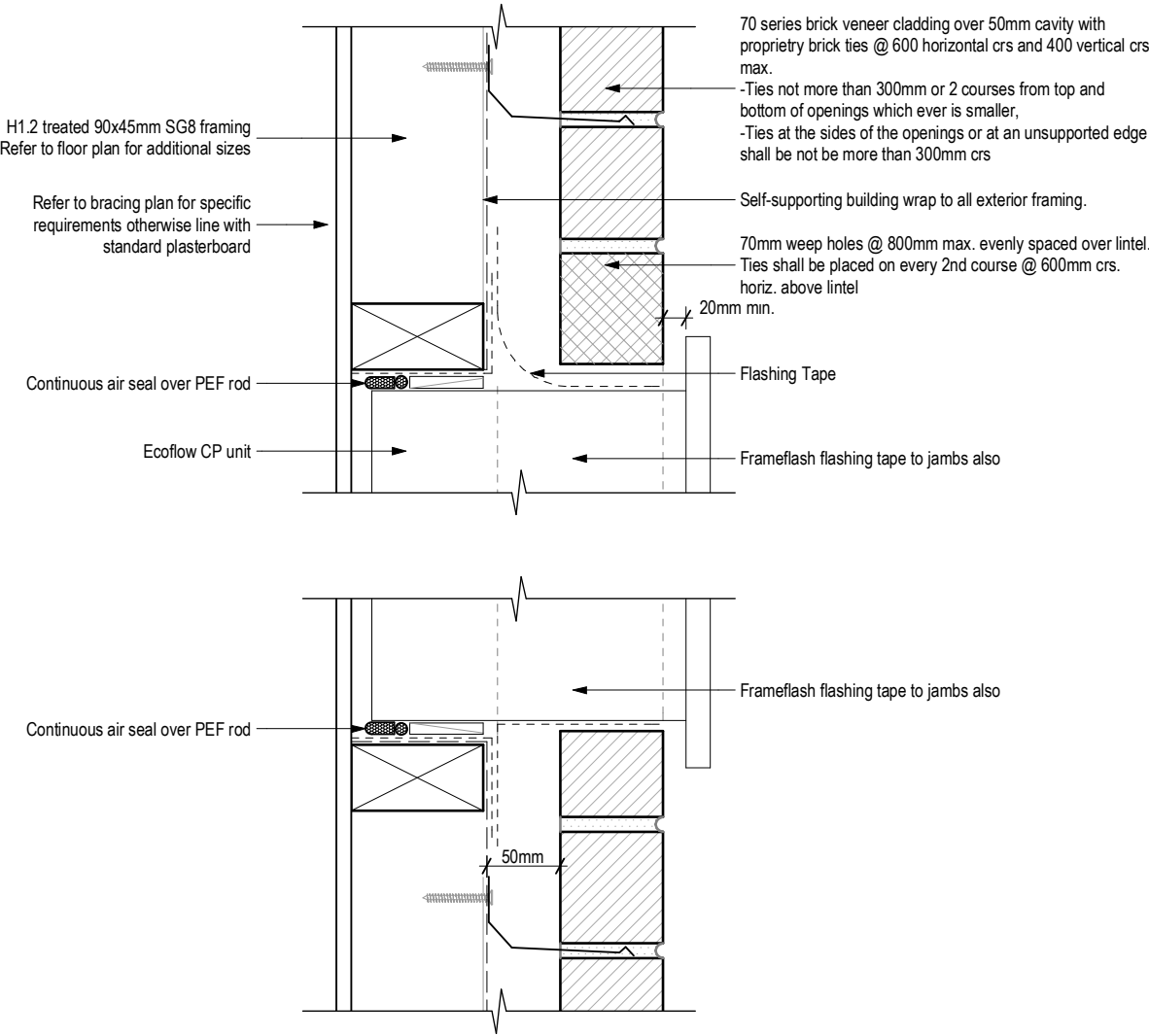


NOTE: Site located in sea-spray zone, all structural fixings to be type 304 stainless steel

NOTE: THE SCHEDULE OF FIXTURES AND FITTINGS TAKES PRECEDENCE OVER THESE DRAWINGS

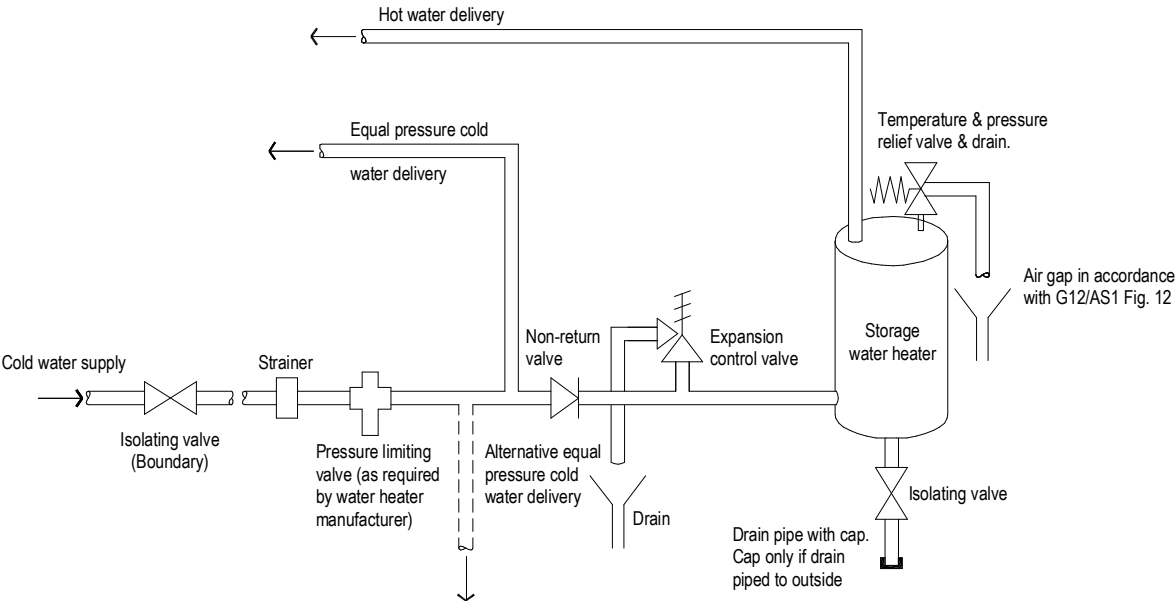
| | | | | | | | | |
|---|--------------------------------|----------------------------------|--|--|---|--|--|------------------------|
| © Mike Greer Homes NZ Ltd PHONE: (03) 354 0166 I FAX: (03) 354 0167 ADDRESS: Tower 2, 7 Deans Avenue, Addington, Christchurch 8011 WEB: www.mikagreerhomes.co.nz | JOB TITLE: SHANKLAND | DRAWING TITLE: Details | LEGAL DESCRIPTION: LOT: 90 DP: tbc KAHAWAI POINT, GLENBROOK, AUCKLAND | NOTES: - Subject to council approval - All measurements to be confirmed on site by the contractor prior to the commencement of work © 2017 Mike Greer Homes NZ Limited. All rights reserved. No part of this work covered by copyright may be reproduced or copied in any form or by any means without the written permission of Mike Greer Homes NZ Limited | DATE OF ISSUE: 19/01/2018 AMENDMENT DATE: 23/03/2018 | DESIGNER: GQ TECHNICIAN: CM VERSION: V3 CODE: 2 | SCALE: 1:10, 1:20 JOB # SA243 | SHEET: A5.07 |
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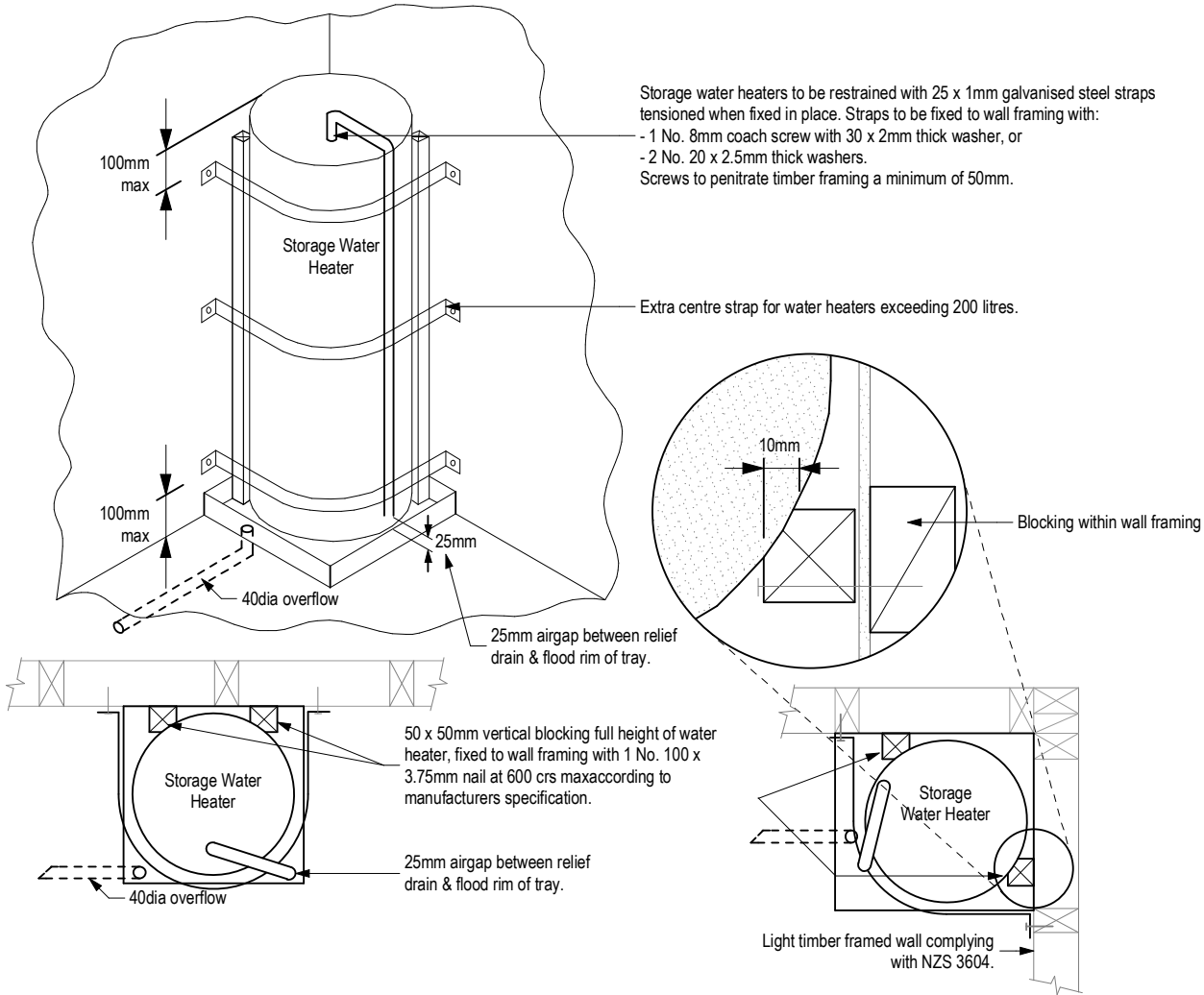
70 Series Brick - Ecoflow CP Unit

SCALE 1:5 @A3



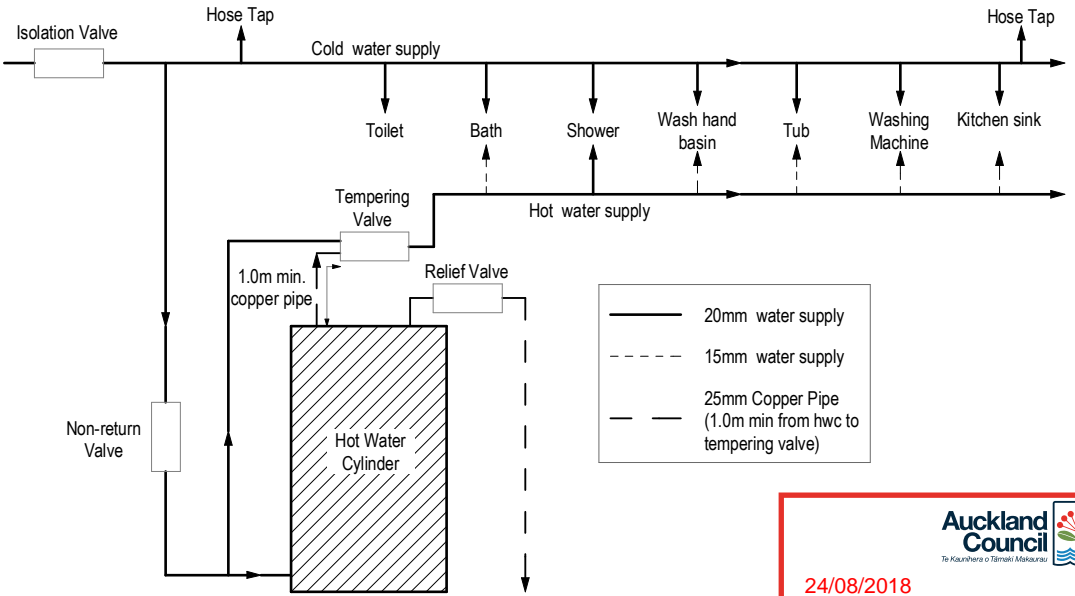
Hotwater Schematic Diagrams

SCALE 1:50 @A3



HWC Restraint Diagram

SCALE 1:50 @A3

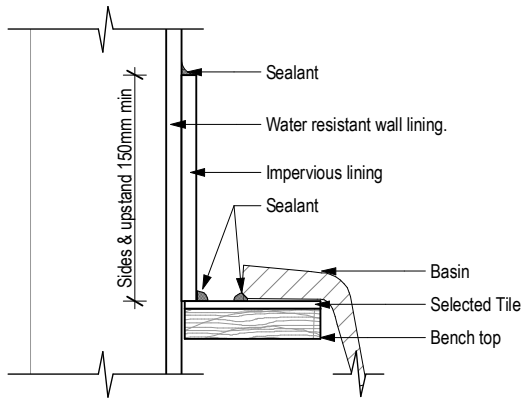


NOTE: Site located in sea-spray zone, all structural fixings to be type 304 stainless steel

NOTE: THE SCHEDULE OF FIXTURES AND FITTINGS TAKES PRECEDENCE OVER THESE DRAWINGS

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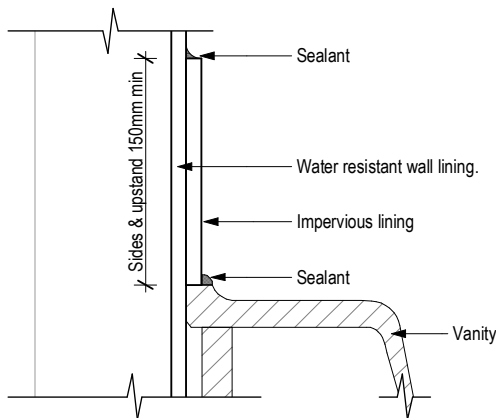
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Basin Bench to Wall Junction

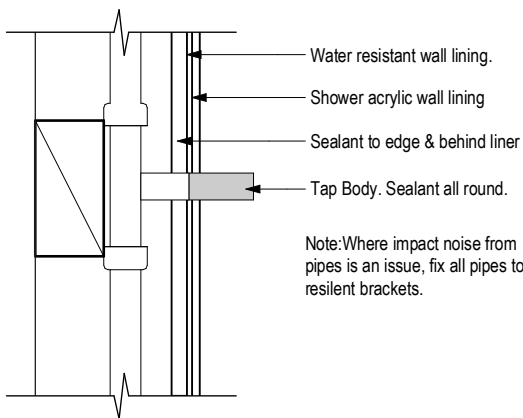
Basin Bench to Wall Junction

SCALE 1:5 @A3



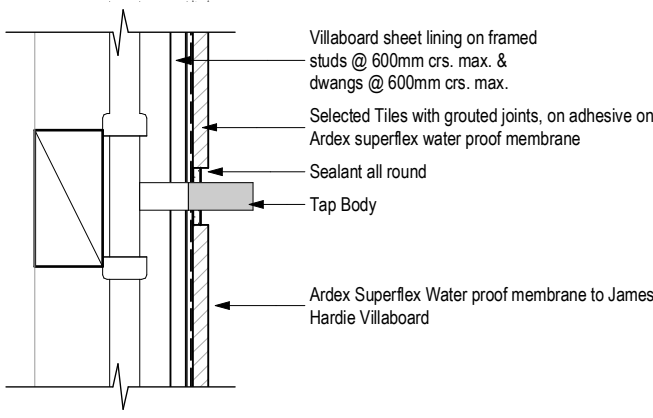
Vanity to Wall Junction

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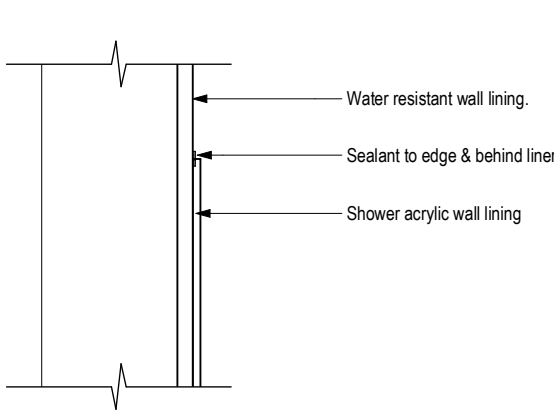
Pipe Penetration (Acrylic Shower)

SCALE 1:5 @A3



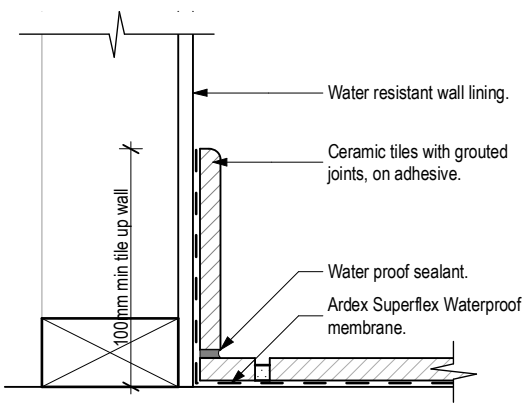
Pipe Penetration

SCALE 1:5 @A3



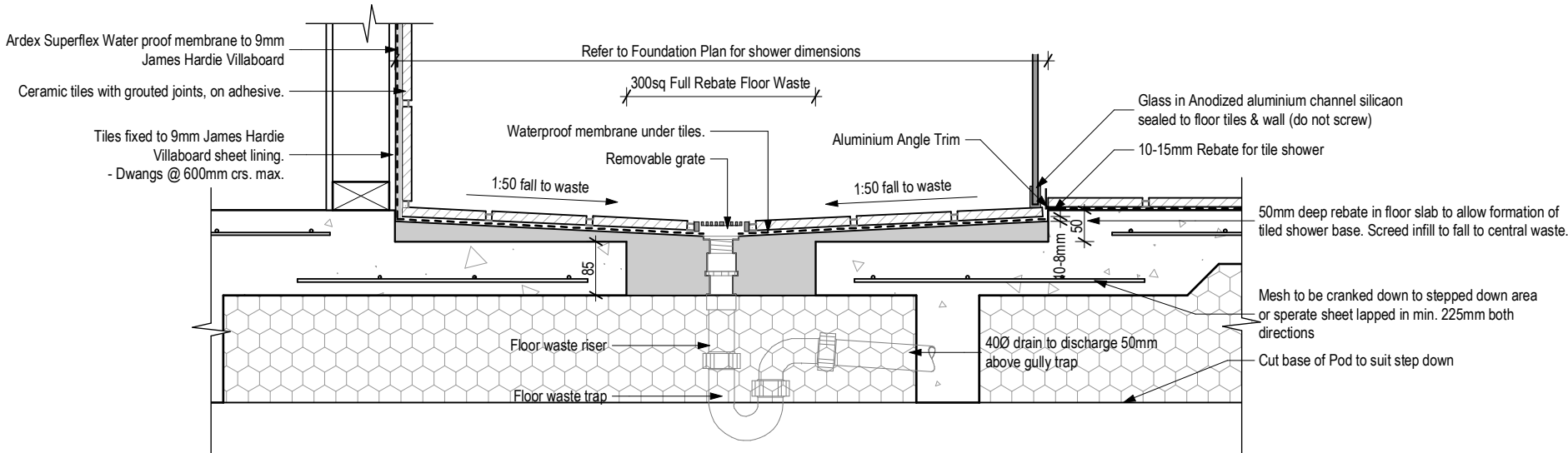
Acrylic to Wall Junction

SCALE 1:5 @A3



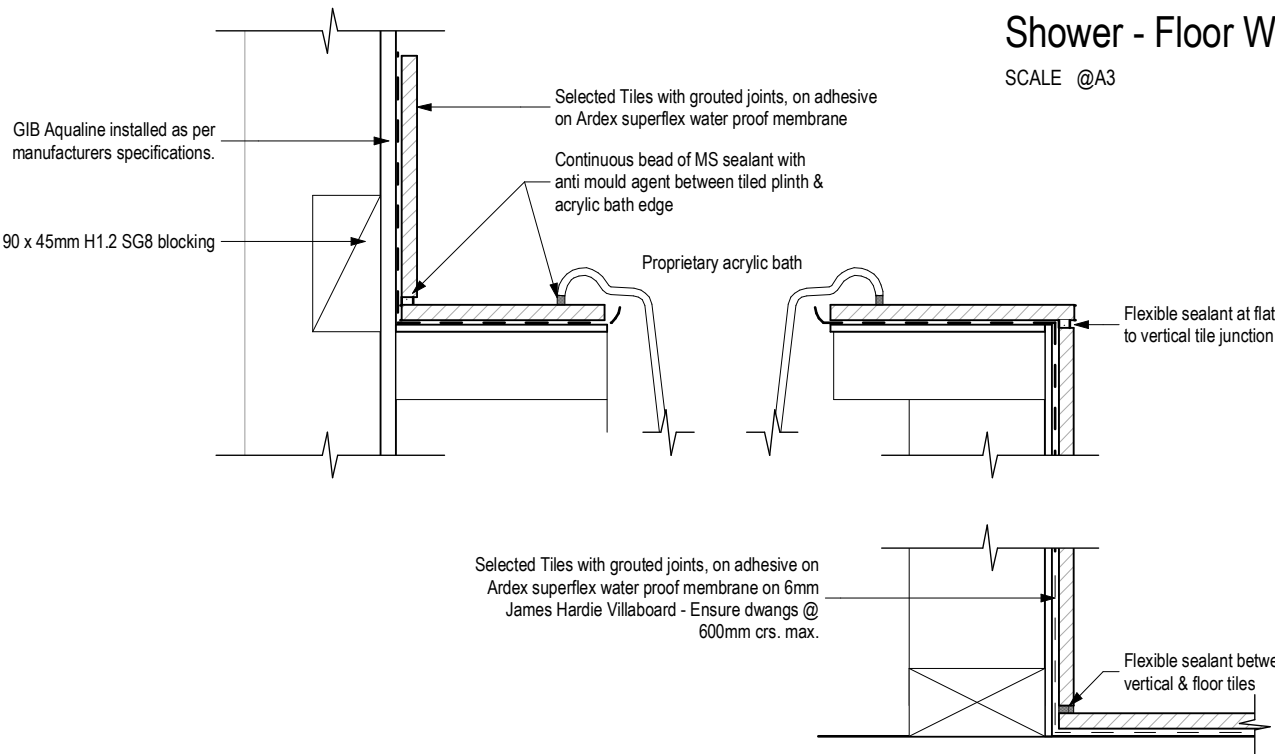
Tile floor to Wall Junction

SCALE 1:5 @A3



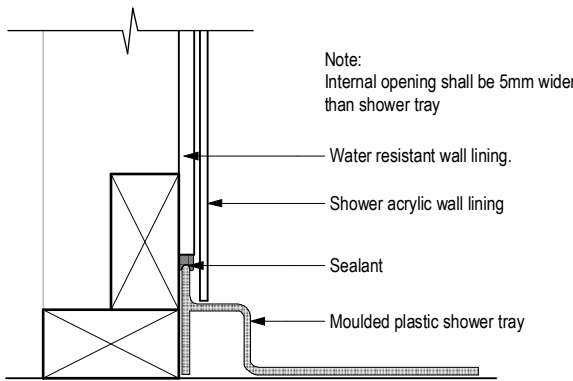
Shower - Floor Waste

SCALE @A3



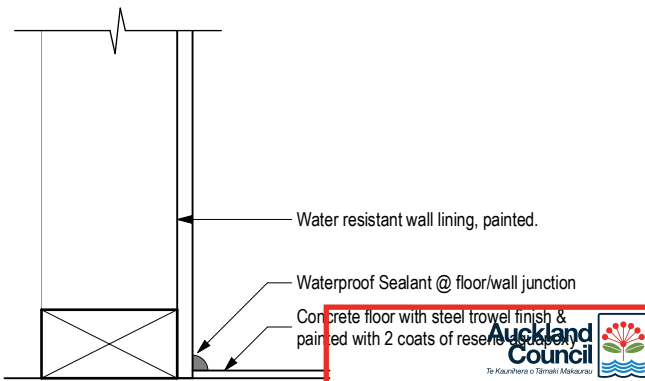
Acrylic Bath w/ The Surround to Wall Junction

SCALE 1:5 @A3



Acrylic Shower Base to Wall Junction

SCALE 1:5 @A3



Concrete Floor to Wall Junction

SCALE 1:5 @A3

NOTE: Site located in sea-spray zone, all structural fixings to be type 304 stainless steel

NOTE: THE SCHEDULE OF FIXTURES AND FITTINGS TAKES PRECEDENCE OVER THESE DRAWINGS

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NOTE

- Sizes shown above are rough opening sizes and & leaf sizes.

-Client to confirm window & door style & finishes.

-Confirm all opening sizes onsite prior to installation

-Refer to ground floor plan for accurate opening location.
- Joinery:

-All exterior window and doors to be colorsteel powdercoated aluminium framed with double glazing and dressed timber reveals unless noted otherwise. Refer to specification for full details.
- Internal Door Leaf Height:

-Standard.
- Internal Door Leaf Width:

-Typically 810mm (unless noted on plan).

-Typically 710mm (wet areas).
- Garage Door:

-Coloursteel sectional.
- Lintels:

-Refer to the **Truss Design** for lintel sizes.
- Safety Glazing (SG):

-To all windows less than 500mm above FFL, unless a transom is less than 1.0m from FL.

-To all windows in wet areas less than 1.6m above FFL.

-To all doors (bottom pane only where a transom is used.)
- Obscure Glazing (OB):

-To Bathroom, Wc and Ensuite

Note:
All doors & sliders are taken from **External Elevation**.
All windows are taken from **External Elevation**.

Window & Door Layout Plan takes precedence over Window Schedule - Refer to Plan & Elevations for opening direction.

Glazing and glazed openings to comply with NZS 4223.3:2016 Glazing in buildings - Part 3: Human impact safety requirements, NZS 4211:2008: Specification for preformance of windows and New Zealand Building Code Clauses: F2 Hazardous Building Materials & F4: Safety from Falling.

Standard glazing units used

All Double Glazed Units
Comply with Table G2, NZS 4218:2004 & meet 0.26 (msqo C/W)

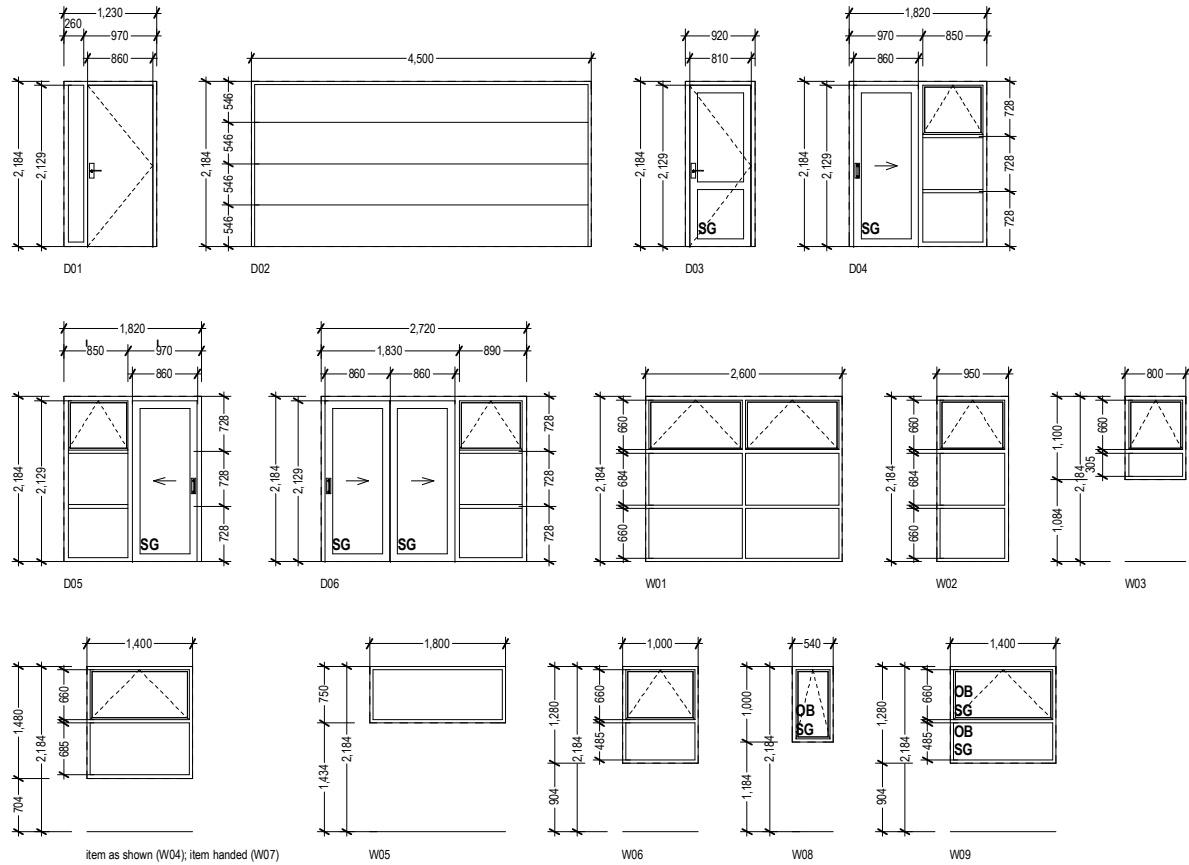
Standard Unit
4mm Glass / 12mm Air Gap / 4mm Glass

Slider Unit
5mm Glass / 8mm Air Gap / 5mm Glass

Safety Panel
4mm Toughened / 8mm Air Gap / 6.38mm Laminate

| Ventilation: | | Vented Area/Room Area | |
|----------------|----------------------|-----------------------|-------|
| Rooms | Window Area (Vented) | Room Area | Total |
| LIVING | 3.33 | 22.68 | 15% |
| BEDROOM 1 | 3.1 | 14.02 | 22% |
| BEDROOM 2 | 2.33 | 11.1 | 21% |
| BEDROOM 3 | 2.34 | 10.2 | 23% |
| BEDROOM 4 | 1.72 | 10.6 | 16% |
| LOUNGE | 1.26 | 16.8 | 8% |
| KITCHEN/DINING | 4.08 | 12.28 | 33% |

| Natural Light: | | Window Area/Room Area | |
|----------------|----------------------|-----------------------|-------|
| Rooms | Window Area (Glazed) | Room Area | Total |
| LIVING | 5.33 | 22.68 | 24% |
| BEDROOM 1 | 3.48 | 14.02 | 25% |
| BEDROOM 2 | 2.71 | 11.1 | 24% |
| BEDROOM 3 | 2.34 | 10.2 | 23% |
| BEDROOM 4 | 1.72 | 10.6 | 16% |
| LOUNGE | 3.54 | 16.8 | 21% |
| KITCHEN/DINING | 4.66 | 12.28 | 38% |



Door & Window Schedule

SCALE 1:100 @A3



| | | | | | | | | |
|---|--------------------------------|---|--|--|-------------------------------|-------------------|-----------------|------------------------|
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| | | | | | AMENDMENT DATE: 23/03/2018 | TECHNICIAN: CM | JOB # SA243 | |